SAVAGE/CARL SMITH PARK IMPROVEMENTS

PROJECT NUMBER: SP19-6

ACCOUNT NUMBER: 147230 . Buildings . 4054111-541104

147270 . Buildings . 405-4054111-541104

CITY OF TULSA, OKLAHOMA ENGINEERING SERVICES DEPARTMENT

ARCHITECT PROJECT NUMBER: 19017/19018
CITY PROJECT NUMBER: SP19-6

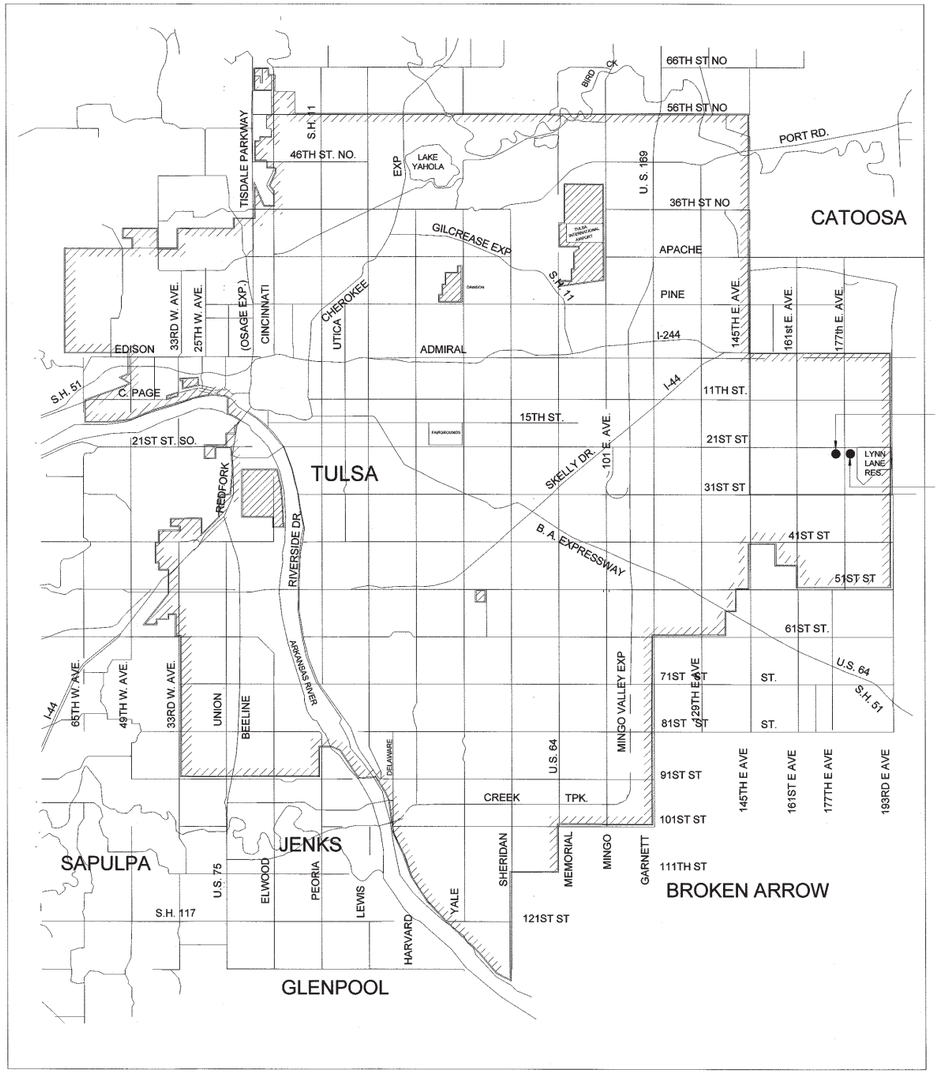
Sheet Index

UTILITY COORDINATION BOX

UTILITY	CONTACT NUMBER	NOTIFIED
WATER DESIGN	918-596-9566	
WASTE WATER DESIGN	918-596-9564	
TRANSPORTATION DESIGN	918-596-9636	
TRAFFIC ENGINEER DESIGN	918-596-9744	
STORM WATER DESIGN	918-596-9496	
ONG	918-831-8261	
COX COMMUNICATIONS	918-986-4716	
PSO/AEP	918-250-6257	
VERIZON/AT&T	918-576-2142	
PARK MAINTENANCE	918-596-2486	

PROJECT INFORMATION

COLUMN 1	COLUMN 2
PROJECT NAME:	SAVAGE/CARL SMITH PARK IMPROVEMENTS
PROJECT LOCATION:	17120 E 21 ST
OWNER:	CITY OF TULSA - ENGINEERING SERVICES DEPARTMENT
ARCHITECT'S JOB NUMBER:	19017/19018
CONSTRUCTION TYPE:	VB
OCCUPANCY CLASSIFICATION:	OFFICE, ASSEMBLY, STORAGE
OCCUPANT LOAD:	EXISTING. NO CHANGES MADE TO CHANGE EXISTING OCCUPANCY.
DESIGN LIVE LOADS:	NOT CALCULATED - INTERIOR REMODEL
DESIGN DEAD LOADS:	NOT CALCULATED - INTERIOR REMODEL
OCCUPANCY AND TENANT SEPARATION:	EXISTING
DESIGN SNOW LOAD:	NOT CALCULATED - INTERIOR REMODEL
DESIGN WIND LOAD:	NOT CALCULATED - INTERIOR REMODEL
AUTOMATIC SPRINKLER SYSTEM:	NON-SPRINKLERED BUILDING



Code Review - Applicable Codes

	Code Name	Code Edition (Year)
IBC	International Building Code	2015
IEBC	International Existing Building Code	2015
IFC	International Fire Code	2015
IMC	International Mechanical Code	2015
IPC	International Plumbing Code	2015
NEC	National Electrical Code	2014

PROJECT - GENERAL NOTES

	NOTE
1	ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CURRENT CITY OF TULSA CODES AND ORDINANCES, ENGINEERING SERVICES STANDARD, AND TULSA PARKS STANDARDS AND SPECIFICATIONS. (CITY OF TULSA CODES AND ORDINANCES AND CODE AMENDMENTS SUPERCEDE NATIONAL CODES.)
2	CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE CAUSED TO STRUCTURES, LANDSCAPING, PAVING, AND OTHER ITEMS LOCATED WITHIN AND OUTSIDE AREA. ANY DAMAGE TO PERMANENT ITEMS INCURRED BY THE CONTRACTOR, AT HIS OWN EXPENSE.
3	CONTRACTOR WILL COORDINATE WITH IDENTIFIED MAINTENANCE OPERATIONS PERSONNEL FOR APPLICATION, SHUT OFF, AND REMOVAL OF ALL UTILITIES.

BEFORE YOU DIG 811 1-800-522-OKIE CALL OKIE

ARCHITECT:

METHOD.
ARCHITECTURE | INTERIORS | PLANNING | PRESERVATION
2303 E Admiral Blvd. Tulsa, OK, 74114
T 918-623-5001
www.method.group

STATE OF OKLAHOMA Joshua Yarbrough No. 6678 LICENSED ARCHITECT
09/25/20

APPROVED BY:

CITY ENGINEER — DATE 10.20.20

PARKS DIRECTOR — DATE 10-20-2020

COVER SHEET

G000

CITY OF TULSA SAVAGE/CARL SMITH PARK IMPROVEMENTS

CITY PROJECT NUMBER SP19-6

METHOD.

100% Cost Estimate

ITEM NUMBER	SPEC NUMBER	DESCRIPTION	NOTES	UNIT	QUANTITY
1	Div 1	General Conditions	1	Ea	1
2	Div 1	Project Sign	2	Ea	1
3	01 21 00	Owner's Allowance	3	Allow	1
4		Repair Existing Fascia/Soffit	4	Sf	300
5		HVAC Upgrade	5	Lot	1
6		New FRP Wall Panels	20	Lot	1
7		Clean Existing Concrete Slab In Preparation For New Work	6, 27, 28	Sf	2,050
8		Demo Existing Flooring	6, 7, 33	Sf	1,180
9		New Sealant Concrete Finish And Rubber Base	8,12	Sf	2,000
10		New Rubber Flooring And Rubber Base	9,12	Sf	150
11		New Carpet Tile Flooring And Rubber Base	10,12	Sf	1,700
12		New Acoustic Panels	13	Sf	240
13		Patch And Repair Existing Walls And Ceilings	14, 23, 24, 25, 26, 34	Lot	1
14		New Paint Existing Interior Walls And Ceilings	14	Lot	1
15		New Paint Exterior Walls/Fascia/Soffit	15	Lot	1
16		New Wood Soffits	4	Sf	300
17		Clean, Patch/Repair, And Paint Existing Cabinets And Countertops	16	Lot	1
18		Clean, Patch/Repair, And Paint Existing Doors And Frames	18	Lot	1
19		Repair Damaged Asphalt Shingles	21	Lot	1
20		Repair Flashing At Skylight	22	Lot	1
21		Remove and Replace Sealant on Toilet Fixtures	28	Lot	1
22		Remove Rust and Prep Toilet Partitions for Paint and Paint	29	Lot	1
23		Clean Plumbing Fixtures, Repair	30	Lot	1
24		Remove Peeling Paint, Repair and Seal Cracks	32	Lot	1
25		Paint Stair Stringers and Handrails	31	Lot	1
26		Add Alternate No. 1 - New Epoxy Flooring	12, 19	Sf	2,000
27		Add Alternate No. 2 - New LVT Flooring And Rubber Base	11,12, 33	Sf	500
28		Add Alternate No. 3 - New Substrate And FRP To 4'-0" AFF	20	Sf	1,040
29		Add Alternate No. 4 - New Plumbing Fixtures	30	Lot	1

PAY ITEMS NOTES

MARK	DESCRIPTION
	GENERAL NOTE: THE COST OF EACH PAY ITEM NOTE DESCRIBING WORK (DEMO OF EXISTING AND INSTALLATION OF NEW ITEMS) SHALL ALSO INCLUDE ANY DISPOSAL COSTS AND TOOLS AND EQUIPMENT REQUIRED TO DO THE WORK FOR THAT PAY ITEM. REFER TO FINISH NOTES.
1	General Requirements, General Conditions And Miscellaneous Direct And Indirect Project Costs Required By The Contract Documents But Not Listed As A Specific Unit Price Pay Item In The Proposal Includes But Is Not Limited To: General Conditions Covering Miscellaneous Non-Staffing Cost Directly Related To The Project, Such As Job Trailer, Temporary Utilities, Barriers, Equipment Rental To Be Included In Specific Pay Items For That Discipline, Cleaning And Dumpsters.
2	Furnish And Install Project Sign - Division 1.
3	Allowance To Be Included In The Contract Amount For Unforeseen Work To Be Performed By The Contractor Not Specifically Defined In The Contract Documents, Approved By Owner Prior To Use.
4	Unit Price To Remove Existing Damaged Wood Fascia And Soffit Panels And Replace With Like Material, As Instructed By Architect. Replacement Areas To Be Determined At Commencement Of Construction.
5	Remove Existing Mechanical Equipment. Furnish And Install New Mechanical Equipment As Instructed By Engineer. Prepare Area For New Equipment.
6	Clean Concrete, Remove Caulking, Fill Cracks and Holes as Needed. Refer to Finish Note F1
7	Remove Existing Flooring As Instructed By Architect.
8	Furnish And Apply Sealant To Existing Concrete Slab As Instructed By Architect.
9	Furnish And Install Rubber Flooring As Instructed By Architect.
10	Furnish And Install Carpet Tile Flooring As Instructed By Architect.
11	Add Alternate: Furnish And Install LVT Flooring As Instructed By Architect.
12	Furnish And Install Wall Base As Instructed By Architect.
13	Furnish And Install Ceiling-Mounted Acoustical Panels As Instructed By Architect.
14	Repair Damaged Gypsum Wall/Ceiling Board And Prepare Walls and Ceilings For New Finishes. Provide New Wall Base. Refer to Finish Note W7
15	Prepare And Paint Exterior Walls And Fascia/Soffits As Instructed By Architect.
16	Clean, Repair/Prepare Base Cabinets For New Paint As Instructed By Architect. Adjust/Repair Existing Hardware.
17	Clean and Inspect Countertop and Backsplash. Glue and Repai. Refer to Finish Note M4
18	Clean And Prepare Existing Doors And Frames For New Paint As Instructed By Architect. Adjust/Repair Existing Hardware. Refer to Finish Note M6
19	Add Alternate: Furnish And Install Epoxy Flooring Over Existing Concrete Slab As Instructed By Architect.
20	Add Alternate: Demo Existing FRP And Substrate From Finish Floor To 4'-0" AFF. Furnish And Install New FRP And Substrate From Finish Floor To 4'-0" AFF. New Substrate To Match Existing Substrate Thickness.
21	Replace Damaged Ashphalt Shingles.
22	Repair/Replace Metal Flashing At Existing Skylight.
23	Remove and Reinstall Light Fixture. Refer To Finish Note C1
24	Clean and Repair FRP on Ceiling. Refer to Finish Note C2
25	Repair Blemishes on Ceiling Substrate. Refer to Finish Note C3
26	Locate and Repair Water Leak. Refer to Finish Note C4
27	Clean Epoxy, Fill Cracks, Holes and Termination. Refer to Finish Note F6
28	Check, Remove and Replace Sealant on Toilet Fixtures. Refer to Finish Note M1
29	Remove Rust and Prep Toilet Partitions for Paint. Refer to Finish Note M2
30	Clean Plumbing Fixtures, Repair or Replace. Refer to Finish Note M7
31	Clean, Prep and Paint Stair Stringers and Handrails. Refer to Finish Note M8
32	Remove Peeling Paint, Repair and Seal Cracks. Refer to Finish Note W2
33	Demo Wall Base. Refer to Finish Note W4
34	Clean and Repair All FRP. Refer to Finish Note W5

ABBREVIATIONS

Allow	ALLOWANCE
EA	EACH
GC-OH&P	GENERAL CONTRACTOR OVERHEAD AND PROFIT
LF	LINEAR FOOT
LOT	LOT
SF	SQUARE FOOT
Sys	SYSTEM
SY	SQUARE YARD

STATE OF OKLAHOMA
Joshua Kunkel
No. 6678
LICENSED ARCHITECT
09/25/20

G001	PAY QUANTITIES ITEMS AND NOTES

SAVAGE/CARL SMITH PARK IMPROVEMENTS

CITY OF TULSA, OKLAHOMA
ENGINEERING SERVICES DEPARTMENT

PLANS PREPARED BY: METHOD.
CA 02939 - EXPIRES 6/30/21
2303 E Admiral Blvd. Tulsa, OK, 74114
T 918-623-5001
www.method.group

REVISIONS	BY	DATE	PLAN SCALE VARIES	DRAWN	AV	-
				REVIEWED	JK	-
			PRINTING DAY	SURVEY		
			PROFILE SCALE	PROJ. MNGR.		10/20
			HORIZONTAL:	LEAD ENG.		10/20
			1" =	FIELD MNGR.		10/20
			VERTICAL: 1" =	RECOMMENDED: HAS 10·20 DESIGN MANAGER		
			FILE: 17451000	DRAWING:		
ATLAS PAGE NO.						

APPROVED:
CITY ENGINEER
DATE: 10.23.20

General Notes

1. Miscellaneous
   - A. Definitions
     1. The term "reference" elevation or dimensions refers to a nominal work point. The actual elevation may vary from the reference point. Refer to the applicable detail to determine the relationship between the actual elevation or dimension and the stated reference point.
     2. "finish floor" elevations are measured at the top of concrete topping/floor slab, unless otherwise noted. Applied finishes such as resilient flooring or carpet may raise the actual finish surface above the reference elevation provided for the finish floor. Coordinate changes in actual finish surface with door heights and hardware as required. Finish floor elevations shown at typical floors indicate the top of the concrete slabs where exposed, finished with carpet, thin set ceramic tile, or vinyl composition tile, unless otherwise noted. Existing slab elevations must be field verified; construction manager/ contract shall use cement Underlayment to maintain elevations indicated on contract documents.
     3. Ceiling height dimensions are measured to finished surfaces, unless otherwise noted. Where height is not noted on the floor or ceiling plans, verify ceiling height with architect prior to installation.
   - B. Contract documents
     1. It is the responsibility of the contractor to obtain all contract documents, issue packages, and latest addenda and to submit such documents to all subcontractors and material suppliers prior to the submittal of shop drawings, fabrication of building components, and construction in the field.
     2. Due to reproduction and copying techniques, drawings may or may not be true to scale as indicated on the printed set. Contractor are not to scale any drawings. Any information used from scaled drawings shall be at the risk of the contractor.
     3. The architectural floor plans, reflected ceiling plans, sections, and elevations show the exact location of many - but not all - exposed parts of the work. For items not located exactly, apply the rules indicated by this sheet "typical mounting height conventions" to determine the exact location of each exposed part of the work.
     4. Where dimensions are indicated on the contract documents, they are given to the centerline of structural members, face of concrete masonry units, face of light gauge framing, face of concrete, and/ or finish face of existing materials and construction unless noted otherwise.
     5. All items within these project documents are part of the base contract unless otherwise noted.
     6. The architectural drawings are a part of a larger set of drawings which, when complete, consists of all drawings listed by the index of drawings. The work described by the drawings of any one discipline may be affected by the work described on drawings of another discipline and may require reference to drawings of another discipline. Partial sets of drawings are incomplete and shall not be distributed and utilized by the construction manager/ contractor. It is the contractor's responsibility to review and coordinate the work of all subcontractors, trades, and suppliers with the requirements of the contract before commencing construction and to assure that all parties are aware of all requirements, regardless of where the requirements occur in the contract documents.
     7. The architectural drawings establish and coordinate the finished appearance and exact location of all exposed elements of the work, including that work which is illustrated primarily on drawings of other disciplines. Locations shown on other drawings are schematic unless otherwise noted on the architectural drawings. The architectural drawings take precedence for the finished appearance and exact location of all parts of the work. Exceptions: dimensioned locations shown on drawings of other disciplines shall govern only where:
        - a. Specifically and individually indicated by symbol, keyed note, or notation on the architectural drawings.
        - b. Occurring within a room or other identified spaces for which architectural sheet or schedule notes indicate that dimensions provided elsewhere shall govern.
        - c. Typical details.
          1. Details labeled "typical details", "typ", "oh", and "sim" on the drawings shall apply to all situations occurring on the project that are the same or similar to those specifically detailed the applicability of the detail to its location on the plans can be determined by the title of the detail. Such details shall apply whether or not they are keyed at each location. Decisions regarding applicability of typical details shall be determined by the architect.
2. Dimensioning conventions
   - A. Except where directed to place items of the work at the "approximate location shown", do not scale drawings for dimensional information.
   - B. All elements of the drawings may not be drawn to exact scale all dimensions required are shown (or may be derived from those shown or noted) on the floor plans, detail plans, elevations, sections, schedules, configuration details, and specifications see the notes below and symbols this sheet for dimensioning conventions used on this project.
   - C. Except where specifically noted to the contrary, all dimension shown on the architectural drawings conform to the following conventions:
     1. Dimensions utilizing the "centerline" symbol are measured to:
        - a. Structural or dimensional grid lines.
        - b. Centerline of concrete or concrete masonry unit walls (exclusive of furring or applied finishes having thickness). Refer to the architectural plans and sections, the structural drawings, or partition schedule to determine the thickness of concrete or concrete masonry unit walls.
        - c. Centerline of partition assembly (exclusive of any applied finishes having thickness which may be applied to such walls) at partitions framed with metal studs. Refer to " partition schedule" to determine the thickness of each partition type.
        - d. Centerline of door, window, or louver opening.
        - e. Centerline of equipment or furnishing.
        - f. Centerline of other features as indicated.
     2. Refer to this sheet for symbol used to indicate centerline dimension.
     3. Dimensions utilizing the "face of" symbol are measured to:
        - a. Face of concrete or concrete masonry unit wall (exclusive of applied finishes having thickness or furring which may be added to the face of such walls).
        - b. Face of partition assembly (exclusive of any applied finishes having thickness which may be added to such wall) as defined by the partition schedule. Unless noted as a "face of finish" or "clear" dimension (see note "e" below), dimensions are not measured to the face of applied finish. Refer to the "partition schedule" to determine the thickness of each partition type.
     4. Refer to this sheet for symbol used to indicate "face of" dimension
     5. Where "face of finish" or "clear" dimensions are specifically noted, the dimension is measured to:
        - a. Finish faces at the most narrow or constricted points of section where dimension is shown. When the dimension occurs across an open space, this case, a "face of finish" dimension is equivalent to a "clear" dimension.
        - b. Finish faces at the widest or most expansive point of the section the dimension is shown when the dimension occurs across an object or group of objects.
     6. Where "equal" dimensions are used on reflected ceiling plans to locate ceiling grid work points, measure dimensions to:
        - a. Edge of the indicated ceiling at the face of the adjacent applied finish measured at the plane of the ceiling.
        - b. Caution: due to the possible application of applied finishes - thickness of which may vary between floor and ceiling and is not accounted for (except as indicated by "clear") by the dimension shown on the floor plans - the construction manager/ contractor must adjust, as necessary, the floor plan dimensions to reflect the actual dimensions found at the plane of the ceiling.
3. Drawings conflicts
   - A. The contractor shall compare the architectural drawings with drawings of other disciplines and report any discrepancy between each set of drawings and within each set of drawings to the architect prior to the fabrication, installation, and/ or construction of building components
   - B. the creator of the contract documents, the architect/ engineer is the sole interpreter of the documents, request for clarifications, requests for information, and questions regarding the contract documents shall be made to the architect/ engineer in writing prior to the fabrication, installation, and/ or construction of building components in question.
   - C. Where conflicts exist among the various parts of the contract documents, the strictest requirements as indicated by the architect and engineer shall govern. Contractor shall notify the architect in writing of any conflict before proceeding with the work.
   - D. The specification and all consultant drawings are supplemental to the architectural drawings. It shall be the construction manager/ contractor's responsibility to coordinate with the architectural drawings before the installation of any of the consultant's work and bring any discrepancies or conflicts to the architect's attention for clarification. Improperly installed work shall be corrected by the construction manager/ contractor at his expense and at no expense to the architect, his consultants or the owner.
4. Existing conditions
   - A. The contractor shall verify all dimensions and conditions of the building site and any existing structures at the job site and report any discrepancies from assumed conditions shown on the drawings to the architect prior to the fabrication, installation and/ or construction of building components.
   - B. The contractor is responsible for the protection of existing buildings, services, means of egress through the project site during the period of this contract.
   - C. All areas of this site, exterior and interior, which are not in the scope of the project and are disturbed by construction shall be returned to original condition at no additional cost to the architect, engineer, or owner.

STATE OF OKLAHOMA
Joshua Kunkel
No. 6678
LICENSED ARCHITECT
09/25/20

G002	GENERAL NOTES
SAVAGE/CARL SMITH PARK IMPROVEMENTS	
CITY OF TULSA, OKLAHOMA ENGINEERING SERVICES DEPARTMENT	

PLANS PREPARED BY: METHOD. CA 02939 - EXPIRES 6/30/21
2303 E Admiral Blvd. Tulsa, OK, 74114
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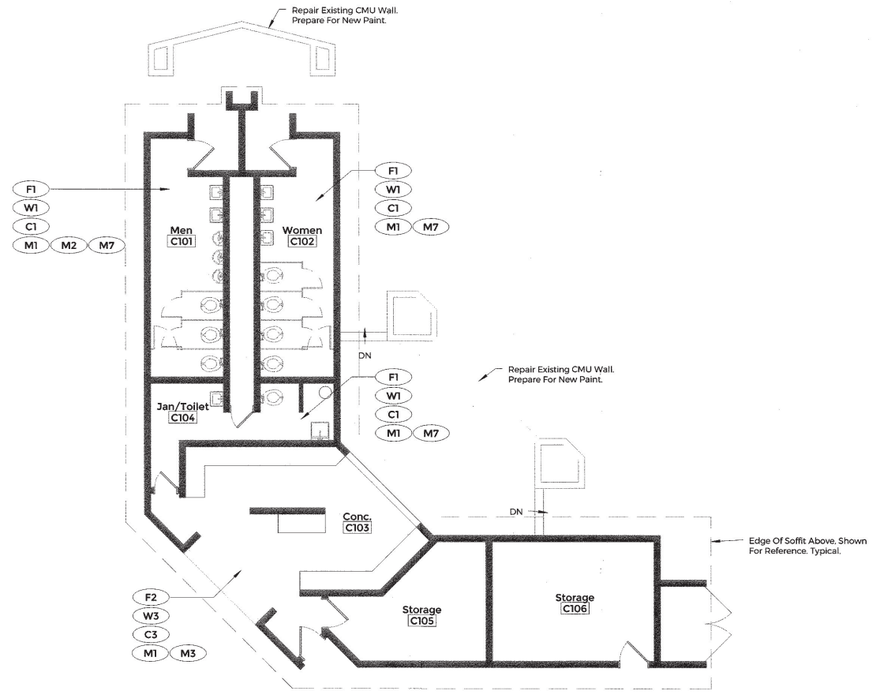
REVISIONS	BY	DATE					
			PLAN SCALE VARIES	DRAWN	AV	-	APPROVED:
				REVIEWED	JK	-	
			PRINTING DAY	SURVEY			
			PROFILE SCALE	PROJ. MNGR.	GB	10/20	
			HORIZONTAL:	LEAD ENG.	[signature]	10/20	
			1" =	FIELD MNGR.	[signature]	10/20	
			VERTICAL:	RECOMMENDED: HAS 10.20			
			1" =	DESIGN MANAGER			CITY ENGINEER
			FILE: 17451000	DRAWING:			DATE: 10.23.20
			ATLAS PAGE NO.				SHEET: 3 OF 17

Finish Note Block

#	Note
Ceiling	
C1	Contractor to Carefully Remove Existing Light Fixtures, Protect and Store on Site. Contractor to Clean, Patch and Repair Ceiling Surface. Prepare Ceiling to Receive New Primer and Paint. Reinstall Light Fixtures After Ceiling Improvement Has Been Accomplished.
C2	Clean and Repair FRP on Ceiling.
C3	Repair Blemishes on Ceiling Substrate. Clean HVAC Supply and Diffusers. Prepare to Receive New Paint.
C4	Locate and Repair Water Leak. Remove Peeling Paint, Patch and Fill in any Cracks and Prepare for New Paint.
C5	Install New Ceiling Treatment.
Flooring	
F1	Base Bid - Existing Concrete Slab to be Cleaned Up. Remove Existing Caulking, Clean Cracks/Holes. Fill all Cracks/Holes and Provide New Caulking Where Needed. Prepare Slab to Receive New Concrete Sealant.
F2	Existing Caulking to be Removed. Concrete Slab, Clean and Repair all Cracks/Holes on Existing Concrete Slab. Provide New Caulk Where Needed. Prepare for New Epoxy Flooring and Extend Epoxy Flooring 4" Up the Walls.
F3	Remove Existing VCT Flooring. Patch and Repair all Cracks/Holes and Prepare Concrete Slab to Receive New Epoxy Flooring.
F4	Base Bid – Clean, Fill all Cracks/Holes and Prepare Existing Concrete Slab to Receive New Concrete Sealant.
F6	Clean Existing Epoxy Flooring. Fill in all Cracks and Holes. Repair Epoxy Termination at Drain Locations. Incorporate Epoxy Wall Base Throughout Perimeter. Adjust all Piping to Drip on Floor Drains Properly.
F7	Remove Current Rubber Flooring. Prepare Surface to Receive New Flooring.
F8	Remove Current Broadloom Carpet. Prepare Slab to Receive New Flooring.
Miscellaneous	
M1	Contractor to Check Condition of Wall Hung Fixtures Connection to Walls. Remove Depleted Sealant or Caulking and Replace with New.
M2	Remove Rust from Metal at Toilet Partitions and Apply Rust Inhibitive, Corrosion Resistant Primer. Prepare to Receive New Topcoat.
M3	Clean, Patch and Repair Base Cabinets as Needed. Prepare to Receive New Paint. Countertop to Be Cleaned.
M4	Contractor to Inspect Countertop and Backsplash. Ensure All Plastic Laminate is Secured. Glue any Loose Plastic Laminate. Ensure All Vertical/Horizontal Surfaces are Leveled. Adjust if Crooked or Out of Alignment.
M5	Clean, Patch and Repair Base Cabinets. Prepare to Receive New Paint. Countertop to Be Cleaned.
M6	Interior Doors and Frames To Be Refinished. Door's Hardware to be Adjusted/Repaired.

Finish Note Block

#	Note
M7	Clean all Plumbing Fixtures. Remove/Repair/Replace any Broken or Damaged Piece.
M8	Stair Stringer and Handrail to be cleaned and Prepare to Receive New Paint.
Walls	
M2	Remove All Dirt, Dust, Mildew, Loose Particles, Peeling and Defective Coating as Needed. Prepare Surface to Receive New Primer and Appropriate Paint.
W1	Clean Surface. If Paint is Peeling, Remove all Weathered Paint and Bring Substrate Condition Ready to Receive New Primer and Paint. Make Sure all Cracks and Holes are Filled in Prior to Paint Application.
W2	Remove All Dirt, Dust, Mildew, Loose Particles, Peeling and Defective Coating as Needed. Prepare Surface to Receive New Primer and Appropriate Paint.
W3	Remove Peeling Paint, Patch and Repair, Seal Cracks and Prepare Surface to Receive New Primer and Paint.
W4	Remove Existing Wall Base.
W5	Floor to Ceiling, Clean and Repair FRP. Check all Corners to Provide New Corner Guard if Broken or Missing. New Wall Base, Trim and Corner Guard to Be Selected From FRP Manufacturer's Line.
W6	Contractor to Carefully Cut and Remove 48" AFF of Existing FRP. Clean up Remaining FRP. Replace Existing Gypsum Wallboard with New Plywood to Match Existing Substrate Thickness. Apply 48" of New FRP. Treat Seams as Recommended by Manufacturer. Provide New Corner Guards Where Applicable. New Wall Base, Trim and Corner Guards to be Selected from Manufacturer's Line.
W7	Repair Blemishes on Wall. Apply New Paint. Install New Wall Base.



1 Plan - Carl Smith - Building 1
1/8" = 1'-0"

Finish Schedule

Finish Mark	Finish Description	Finish Manufacturer	Finish Model	Finish	Comments
Ceilings					
ACT1	Acoustical Ceiling Tile - Savage	Armstrong Ceiling & Wall Solutions	Invisacoustics Basics	1212WH	* Alternate 5 - Direct Attach to Drywall. Use Adhesive Recommended by Manufacturer
Flooring					
LVT1	Luxury Vinyl Tile - Carl Smith	Tarkett	iD Latitud Abstract	TBD	* Alternate 2 - Low Maintenance, Low Gloss Product for Soveneir, Office and Toilet. Base Design to be CS1.
CS1	Concrete Sealant - Carl Smith	Deck-O-Seal	Deck-O-Grip	Acrylic, Slip - Resistant Concrete Deck Sealer	*Alternate 1 - Base Design. Carl Smith Restroom Floor, Concessions
EPX1	Epoxy - Carl Smith	Dur-A-Flex	Poly-Crete SLB	Dark Grey	*Alternate 1. Carl Smith Restroom Floor, Concessions. Integrate 6" Wall Base
RB1	Rubber Flooring - Savage	Roppe	Raised Design Rubber Tread. #80 and #81 Rib Design	618 Aubergine	Savage Stairs S200
AFL1	Acoustic Flooring - Savage	Forbo	TBD	TBD	* Alternate 3 - Savage Second Level Flooring
CT1	Carpet Tile	Mats Inc.	Diagonal Tile	Blue	* Alternate 3 - Base Design. Savage Second Level. Quarter Turn Installation Method.
Paint					
PT1	Exterior CMU Paint - Carl Smith	Sherwin Williams	SW CF11WS1 Series, ConFlex XL Elastomeric Smooth	Off White (TBD) - Flat	Field Paint at Building 1
PT2	Exterior Ferrous Metals Paint - Carl Smith	Sherwin Williams	B53-1150 Series, WB Alkyd Urethane Enamel Semi-Gloss	Green (TBD) - Semi-Gloss	Metal Paint at Building 1
PT3	Exterior Wood Soffit Paint - Carl Smith	Sherwin Williams	SW-B66-660 Series, Pro Industrial	Green (TBD) - Eg-Shel	Field Paint at Building 2, Building 3, Building 4 and Building 5
PT4-A	Interior Paint - Carl Smith & Savage	Sherwin Williams	SW K46 Series, Pre-Catalized Epoxy Semi-Gloss.	White (TBD) - Semi-Gloss	Field Paint at Women C102, Men C101, Concession C103, Concessions C301, Souveneirs C401, Office C402, Toilet C403, Savage Park
PT4-B	Interior Paint - Carl Smith	Sherwin Williams	B53-1150 Series, WB Alkyd Urethane Enamel Semi-Gloss	White (TBD) - Semi-Gloss	Metal Paint at Building 1
PT5	Interior Paint- Carl Smith	Sherwin Williams	SW K46 Series, Pre-Catalized Epoxy Semi-Gloss.	(TBD) - Semi-Gloss	Accent Paint at Women C102,, Men C101
PT6	Interior Paint - Carl Smith	Sherwin Williams	SW K46 Series, Pre-Catalized Epoxy Semi-Gloss.	(TBD) - Semi-Gloss	Accent Paint at Souveneirs C401, Office C402
PT7	Exterior CMU Paint - Carl Smith	Sherwin Williams	SW CF11WS1 Series, ConFlex XL Elastomeric Smooth	Green (TBD) - Flat	Accent Paint at Building 1
PT8	Exterior Wood Soffit Paint - Carl Smith	Sherwin Williams	SW-B66-660 Series, Pro Industrial	Eg-Shel	Accent Paint at Building 2, Building 3, Building 4 and Building 5
PT9-A	Exterior CMU Paint - Savage	Sherwin Williams	SW CF11WS1 Series, ConFlex XL Elastomeric Smooth	Blue (TBD) - Flat	Accent Band at Savage Park
PT9-B	Exterior Ferrous Metals Paint - Savage	Sherwin Williams	B53-1150 Series, WB Alkyd Urethane Enamel Semi-Gloss	Blue (TBD) - Semi-Gloss	Exterior Metal Paint at Savage Park
Trim					
TR1	Trim	Marlite			
TS1	Transition Strip	-	-	-	
Wall					
FRP1	Standard FRP - Carl Smith	Marlite	To Match Existing color	Smooth	Use Trim and Base Offered with Marlite Standard FRP. Color To Match Existing
Wall Base					
WB1	Wall Base - Carl Smith	Roppe			
WB2	Wall Base - Savage	Roppe			

Sheet Notes

	Notes
1	All Construction Shall be Done in Compliance with the Americans With Disabilities Act (ADA) and the City of Tulsa Building Code
2	Field Verify Dimensions of Existing Conditions. Dimensions are From Face of Mansonry/Wall, Unless Noted Otherwise.
3	HVAC Supplies and Diffusers - Contractor to Clean and Paint as Needed.
4	Existing Interior Doors and Frames - Contractor to Clean, Repair Hardware as Needed. Adjust any Misalignments and Prepare to Receive New Paint.
5	Existing Exterior Doors and Frames - Contractor to Clean, Repair Hardware as Needed. Adjust any Misalignments and Prepare to Receive New Paint. Provide New Sweap and Threshold where Needed.
6	Exterior Drinking Fountain - To Recieve New Paint.
7	Accessories - Contractor to Protect All Existing Accessories While Working on Site. Remove and Store Accessories when Needed. Re-install Once Work has Been Accomplished. Any Current Damaged or Broken Accessory to be Replaced Upon Approval.
8	Existing Millwork - Contractor to Inspect Millwork and Adjust/Repair any Lose Hardware, Fill In or Repair any Large Defects. Secure any Lose Plastic Laminate and Backsplash. Verify Surfaces are Leveled. Verify All Legs and Base Cabinets are Correclty Secured and Straight.
9	Remove Floor Mounted Plumbing Fixtures to Install New Finishes. Reinstall Fixtures.

Legend

Overhead Element

Area Of No New Work

Finishes:

AFL1

CP1

LVT1

STATE OF OKLAHOMA
Joshua Kunkel
No. 6678
LICENSED ARCHITECT

09/25/20

REVISIONS	BY	DATE

A101-1 FLOOR PLANS - CARL SMITH

SAVAGE/CARL SMITH PARK IMPROVEMENTS

CITY OF TULSA, OKLAHOMA
ENGINEERING SERVICES DEPARTMENT

PLANS PREPARED BY: METHOD. CA 12939 - EXPIRES 6/30/21
2303 E Admiral Blvd. Tulsa, OK, 74114
T 918-623-5001
www.method.group

PLAN SCALE: VARIES
PRINTING DAY:
PROFILE SCALE HORIZONTAL: 1" =
VERTICAL: 1" =

DRAWN	AV	-	
REVIEWED	JK	-	
SURVEY			
PROJ. MNGR.			10/20
LEAD ENG.			10/20
FIELD MNGR.			10/20
RECOMMENDED: DESIGN MANAGER	HAS	10.20	

APPROVED:
CITY ENGINEER
DATE: 10.23.20

FILE: 17451000 DRAWING:
ATLAS PAGE NO.
SHEET: 4 OF 17

9/25/2020 11:44:23 PM
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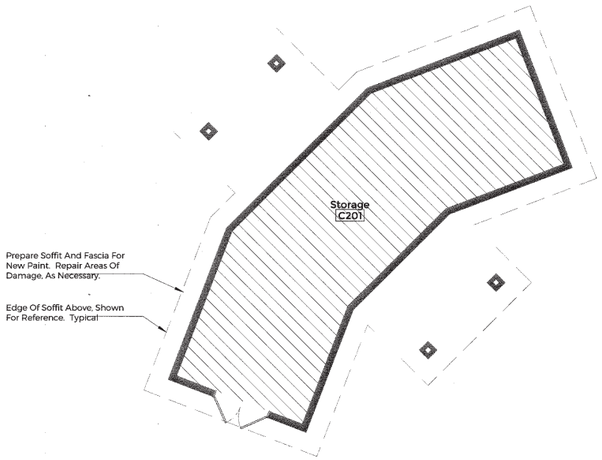
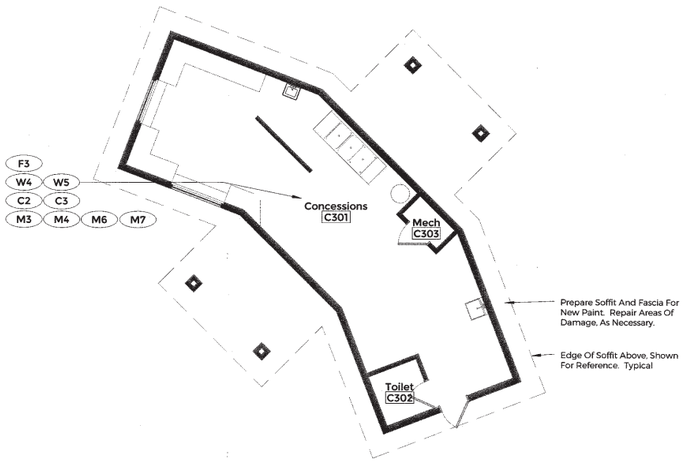
Finish Note Block

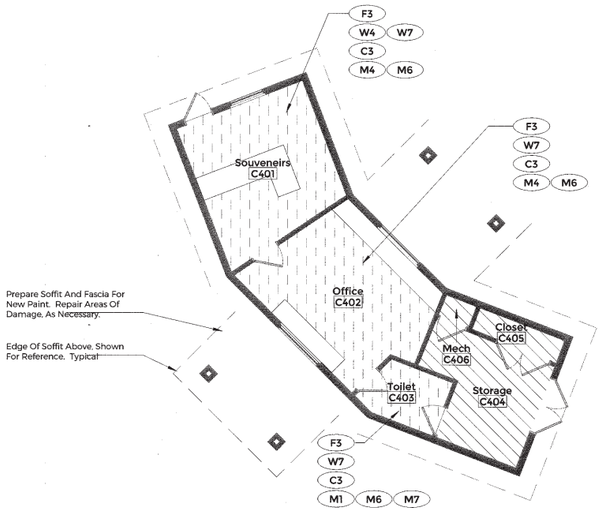
#	Note
Ceiling	
C1	Contractor to Carefully Remove Existing Light Fixtures, Protect and Store on Site. Contractor to Clean, Patch and Repair Ceiling Surface. Prepare Ceiling to Receive New Primer and Paint. Reinstall Light Fixtures After Ceiling Improvement Has Been Accomplished.
C2	Clean and Repair FRP on Ceiling.
C3	Repair Blemishes on Ceiling Substrate. Clean HVAC Supply and Diffusers. Prepare to Receive New Paint.
C4	Locate and Repair Water Leak. Remove Peeling Paint, Patch and Fill in any Cracks and Prepare for New Paint.
C5	Install New Ceiling Treatment.
Flooring	
F1	Base Bid - Existing Concrete Slab to be Cleaned Up. Remove Existing Caulking, Clean Cracks/Holes. Fill all Cracks/Holes and Provide New Caulking Where Needed. Prepare Slab to Receive New Concrete Sealant.
F2	Existing Caulking to be Removed. Concrete Slab, Clean and Repair all Cracks/Holes on Existing Concrete Slab. Provide New Caulk Where Needed. Prepare for New Epoxy Flooring and Extend Epoxy Flooring 4" Up the Walls.
F3	Remove Existing VCT Flooring. Patch and Repair all Cracks/Holes and Prepare Concrete Slab to Receive New Epoxy Flooring.
F4	Base Bid – Clean, Fill all Cracks/Holes and Prepare Existing Concrete Slab to Receive New Concrete Sealant.
F6	Clean Existing Epoxy Flooring, Fill in all Cracks and Holes. Repair Epoxy Termination at Drain Locations. Incorporate Epoxy Wall Base Throughout Perimeter. Adjust all Piping to Drip on Floor Drains Properly.
F7	Remove Current Rubber Flooring, Prepare Surface to Receive New Flooring.
F8	Remove Current Broadloom Carpet. Prepare Slab to Receive New Flooring.
Miscellaneous	
M1	Contractor to Check Condition of Wall Hung Fixtures Connection to Walls. Remove Depleted Sealant or Caulking and Replace with New.
M2	Remove Rust from Metal at Toilet Partitions and Apply Rust Inhibitive, Corrosion Resistant Primer. Prepare to Receive New Topcoat.
M3	Clean, Patch and Repair Base Cabinets as Needed. Prepare to Receive New Paint. Countertop to Be Cleaned.
M4	Contractor to Inspect Countertop and Backsplash. Ensure All Plastic Laminate is Secured. Glue any Loose Plastic Laminate. Ensure All Vertical/Horizontal Surfaces are Leveled. Adjust if Crooked or Out of Alignment.
M5	Clean, Patch and Repair Base Cabinets. Prepare to Receive New Paint. Countertop to Be Cleaned.
M6	Interior Doors and Frames To Be Refinished. Door's Hardware to be Adjusted/Repaired.

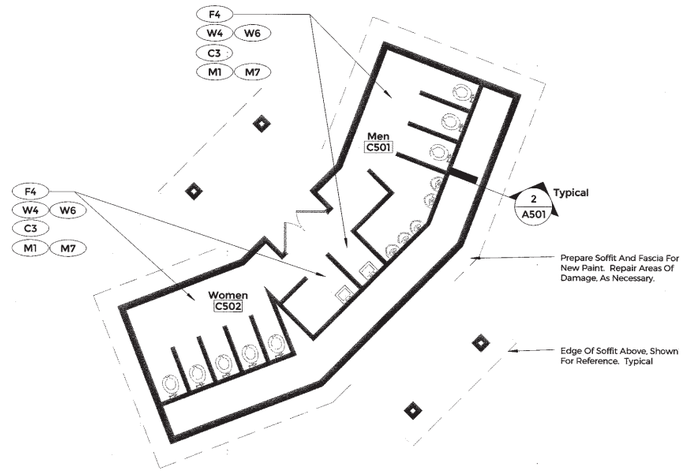
Finish Note Block

#	Note
M7	Clean all Plumbing Fixtures. Remove/Repair/Replace any Broken or Damaged Piece.
M8	Stair Stringer and Handrail to be cleaned and Prepare to Receive New Paint.
Walls	
M2	Remove All Dirt, Dust, Mildew, Loose Particles, Peeling and Defective Coating as Needed. Prepare Surface to Receive New Primer and Appropriate Paint.
W1	Clean Surface. If Paint is Peeling, Remove all Weathered Paint and Bring Substrate Condition Ready to Receive New Primer and Paint. Make Sure all Cracks and Holes are Filled in Prior to Paint Application.
W2	Remove All Dirt, Dust, Mildew, Loose Particles, Peeling and Defective Coating as Needed. Prepare Surface to Receive New Primer and Appropriate Paint.
W3	Remove Peeling Paint, Patch and Repair, Seal Cracks and Prepare Surface to Receive New Primer and Paint.
W4	Remove Existing Wall Base.
W5	Floor to Ceiling, Clean and Repair FRP. Check all Corners to Provide New Corner Guard if Broken or Missing. New Wall Base, Trim and Corner Guard to Be Selected From FRP Manufacturer's Line.
W6	Contractor to Carefully Cut and Remove 48" AFF of Existing FRP. Clean up Remaining FRP. Replace Existing Gypsum Wallboard with New Plywood to Match Existing Substrate Thickness. Apply 48" of New FRP. Treat Seams as Recommended by Manufacturer. Provide New Corner Guards Where Applicable. New Wall Base, Trim and Corner Guards to be Selected from Manufacturer's Line.
W7	Repair Blemishes on Wall. Apply New Paint. Install New Wall Base.









2 Plan - Carl Smith - Building 2-5
1/8" = 1'-0"

Finish Schedule

Finish Mark	Finish Description	Finish Manufacturer	Finish Model	Finish	Comments
Ceilings					
ACT1	Acoustical Ceiling Tile - Savage	Armstrong Ceiling & Wall Solutions	Invisacoustics Basics	1212WH	* Alternate 5 - Direct Attach to Drywall. Use Adhesive Recommended by Manufacturer
Flooring					
LVT1	Luxury Vinyl Tile - Carl Smith	Tarkett	iD Latitud Abstract	TBD	* Alternate 2 - Low Maintenance, Low Gloss Product for Soveneir, Office and Toilet. Base Design to be CS1.
CS1	Concrete Sealant - Carl Smith	Deck-O-Seal	Deck-O-Grip	Acrylic, Slip - Resistant Concrete Deck Sealer	*Alternate 1 - Base Design. Carl Smith Restroom Floor. Concessions
EPX1	Epoxy - Carl Smith	Dur-A-Flex	Poly-Crete SLB	Dark Grey	*Alternate 1. Carl Smith Restroom Floor. Concessions. Integrate 6" Wall Base
RB1	Rubber Flooring - Savage	Roppe	Raised Design Rubber Tread. #80 and #81 Rib Design	618 Aubergine	Savage Stairs S200
AFL1	Acoustic Flooring - Savage	Forbo	TBD	TBD	* Alternate 3 - Savage Second Level Flooring
CT1	Carpet Tile	Mats Inc.	Diagonal Tile	Blue	* Alternate 3 - Base Design. Savage Second Level. Quarter Turn Installation Method.
Paint					
PT1	Exterior CMU Paint - Carl Smith	Sherwin Williams	SW CF11W51 Series. ConFlex XL Elastomeric Smooth	Off White (TBD) - Flat	Field Paint at Building 1
PT2	Exterior Ferrous Metals Paint - Carl Smith	Sherwin Williams	B53-1150 Series, WB Alkyd Urethane Enamel Semi-Gloss	Green (TBD) - Semi-Gloss	Metal Paint at Building 1
PT3	Exterior Wood Soffit Paint - Carl Smith	Sherwin Williams	SW-B66-660 Series, Pro Industrial	Green (TBD) - Eg-Shel	Field Paint at Building 2, Building 3, Building 4 and Building 5
PT4-A	Interior Paint - Carl Smith & Savage	Sherwin Williams	SW K46 Series, Pre-Catalized Epoxy Semi-Gloss.	White (TBD) - Semi-Gloss	Field Paint at Women C102. Men C101, Concession C103, Concessions C301, Souveneirs C401, Office C402, Toilet C403, Savage Park
PT4-B	Interior Paint - Carl Smith	Sherwin Williams	B53-1150 Series, WB Alkyd Urethane Enamel Semi-Gloss	White (TBD) - Semi-Gloss	Metal Paint at Building 1
PT5	Interior Paint- Carl Smith	Sherwin Williams	SW K46 Series, Pre-Catalized Epoxy Semi-Gloss.	(TBD) - Semi-Gloss	Accent Paint at Women C102., Men C101
PT6	Interior Paint - Carl Smith	Sherwin Williams	SW K46 Series, Pre-Catalized Epoxy Semi-Gloss.	(TBD) - Semi-Gloss	Accent Paint at Souveneirs C401. Office C402
PT7	Exterior CMU Paint - Carl Smith	Sherwin Williams	SW CF11W51 Series. ConFlex XL Elastomeric Smooth	Green (TBD) - Flat	Accent Paint at Building 1
PT8	Exterior Wood Soffit Paint - Carl Smith	Sherwin Williams	SW-B66-660 Series, Pro Industrial	Eg-Shel	Accent Paint at Building 2, Building 3, Building 4 and Building 5
PT9-A	Exterior CMU Paint - Savage	Sherwin Williams	SW CF11W51 Series. ConFlex XL Elastomeric Smooth	Blue (TBD) - Flat	Accent Band at Savage Park
PT9-B	Exterior Ferrous Metals Paint - Savage	Sherwin Williams	B53-1150 Series, WB Alkyd Urethane Enamel Semi-Gloss	Blue (TBD) - Semi-Gloss	Exterior Metal Paint at Savage Park
Trim					
TR1	Trim	Marlite			
TS1	Transition Strip	-	-	-	
Wall					
FRP1	Standard FRP - Carl Smith	Marlite	To Match Existing color	Smooth	Use Trim and Base Offered with Marlite Standard FRP. Color To Match Existing
Wall Base					
WB1	Wall Base - Carl Smith	Roppe			
WB2	Wall Base - Savage	Roppe			

Sheet Notes

	Notes
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6	Exterior Drinking Fountain - To Recieve New Paint.
7	Accessories - Contractor to Protect All Existing Accessories While Working on Site. Remove and Store Accessories when Needed. Re-install Once Work has Been Accomplished. Any Current Damaged or Broken Accessory to be Replaced Upon Approval.
8	Existing Millwork - Contractor to Inspect Millwork and Adjust/Repair any Lose Hardware, Fill In or Repair any Large Defects. Secure any Lose Plastic Laminate and Backsplash. Verify Surfaces are Leveled. Verify All Legs and Base Cabinets are Correclty Secured and Straight.
9	Remove Floor Mounted Plumbing Fixtures to Install New Finishes. Reinstall Fixtures.

Legend

Overhead Element

Area Of No New Work

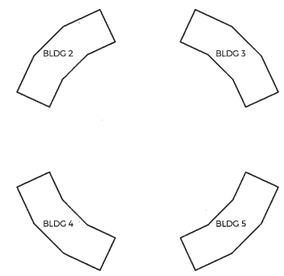
Finishes:

AFL1

CP1

LVT1

Key Plan



STATE OF OKLAHOMA
Joshua
Kunkel
No. 6678
LICENSED ARCHITECT
09/25/20

REVISIONS	BY	DATE

A101-2 FLOOR PLANS - CARL SMITH

SAVAGE/CARL SMITH PARK IMPROVEMENTS

CITY OF TULSA, OKLAHOMA
ENGINEERING SERVICES DEPARTMENT

PLANS PREPARED BY: METHOD. ARCHITECTURE | INTERIORS | PLANNING | PRESERVATION
CA 02929 - EXPIRES 6/30/21
2303 E Admiral Blvd. Tulsa, OK, 74114
T 918-623-5001
www.method.group

PLAN SCALE VARIES	DRAWN	AV	-	APPROVED:
PRINTING DAY	REVIEWED	JK	-	
	SURVEY			
PROFILE SCALE HORIZONTAL: 1" =	PROJ. MNGR.		10/20	
	LEAD ENG.		10/20	
VERTICAL: 1" =	FIELD MNGR.		10/20	
	RECOMMENDED:	HAS	10-20	CITY ENGINEER
	DESIGN MANAGER			

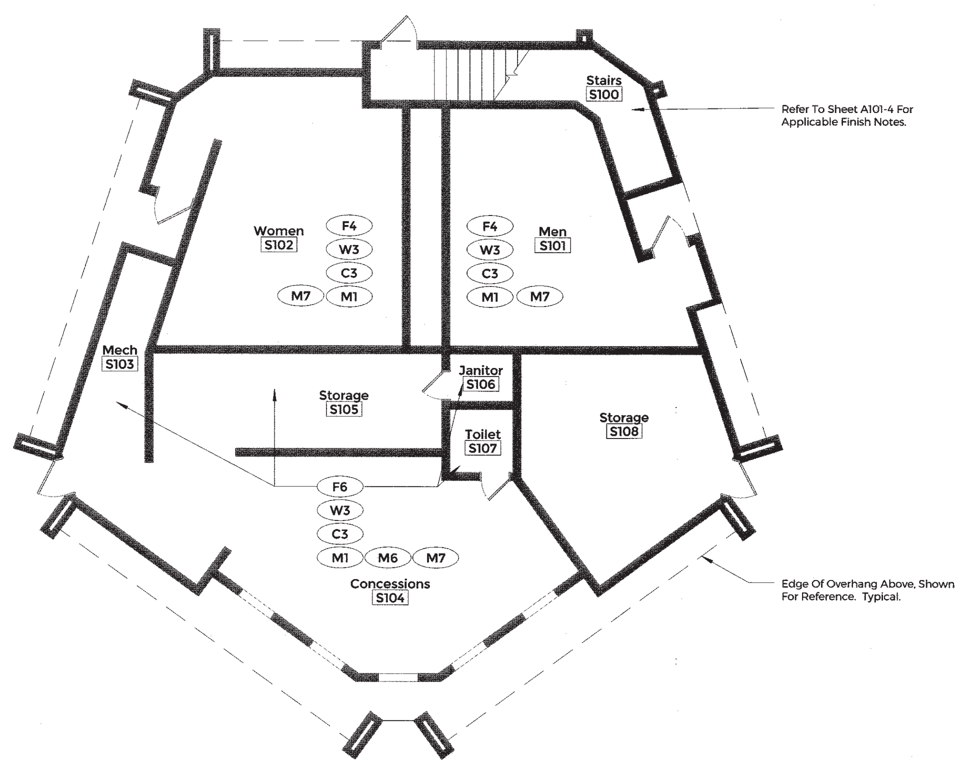
FILE: 17451000 DRAWING:
DATE: 10.23.20
ATLAS PAGE NO.
SHEET: 5 OF 17

Finish Note Block

#	Note
Ceiling	
C1	Contractor to Carefully Remove Existing Light Fixtures, Protect and Store on Site. Contractor to Clean, Patch and Repair Ceiling Surface. Prepare Ceiling to Receive New Primer and Paint. Reinstall Light Fixtures After Ceiling Improvement Has Been Accomplished.
C2	Clean and Repair FRP on Ceiling.
C3	Repair Blemishes on Ceiling Substrate. Clean HVAC Supply and Diffusers. Prepare to Receive New Paint.
C4	Locate and Repair Water Leak. Remove Peeling Paint, Patch and Fill in any Cracks and Prepare for New Paint.
C5	Install New Ceiling Treatment.
Flooring	
F1	Base Bid - Existing Concrete Slab to be Cleaned Up. Remove Existing Caulking, Clean Cracks/Holes. Fill all Cracks/Holes and Provide New Caulking Where Needed. Prepare Slab to Receive New Concrete Sealant.
F2	Existing Caulking to be Removed. Concrete Slab, Clean and Repair all Cracks/Holes on Existing Concrete Slab. Provide New Caulk Where Needed. Prepare for New Epoxy Flooring and Extend Epoxy Flooring 4" Up the Walls.
F3	Remove Existing VCT Flooring. Patch and Repair all Cracks/Holes and Prepare Concrete Slab to Receive New Epoxy Flooring.
F4	Base Bid – Clean, Fill all Cracks/Holes and Prepare Existing Concrete Slab to Receive New Concrete Sealant.
F6	Clean Existing Epoxy Flooring. Fill in all Cracks and Holes. Repair Epoxy Termination at Drain Locations. Incorporate Epoxy Wall Base Throughout Perimeter. Adjust all Piping to Drip on Floor Drains Properly.
F7	Remove Current Rubber Flooring. Prepare Surface to Receive New Flooring.
F8	Remove Current Broadloom Carpet. Prepare Slab to Receive New Flooring.
Miscellaneous	
M1	Contractor to Check Condition of Wall Hung Fixtures Connection to Walls. Remove Depleted Sealant or Caulking and Replace with New.
M2	Remove Rust from Metal at Toilet Partitions and Apply Rust Inhibitive, Corrosion Resistant Primer. Prepare to Receive New Topcoat.
M3	Clean, Patch and Repair Base Cabinets as Needed. Prepare to Receive New Paint. Countertop to Be Cleaned.
M4	Contractor to Inspect Countertop and Backsplash. Ensure All Plastic Laminate is Secured. Glue any Loose Plastic Laminate. Ensure All Vertical/Horizontal Surfaces are Leveled. Adjust if Crooked or Out of Alignment.
M5	Clean, Patch and Repair Base Cabinets. Prepare to Receive New Paint. Countertop to Be Cleaned.
M6	Interior Doors and Frames To Be Refinished. Door's Hardware to be Adjusted/Repaired..

Finish Note Block

#	Note
M7	Clean all Plumbing Fixtures. Remove/Repair/Replace any Broken or Damaged Piece.
M8	Stair Stringer and Handrail to be cleaned and Prepare to Receive New Paint.
Walls	
M2	Remove All Dirt, Dust, Mildew, Loose Particles, Peeling and Defective Coating as Needed. Prepare Surface to Receive New Primer and Appropriate Paint.
W1	Clean Surface. If Paint is Peeling, Remove all Weathered Paint and Bring Substrate Condition Ready to Receive New Primer and Paint. Make Sure all Cracks and Holes are Filled in Prior to Paint Application.
W2	Remove All Dirt, Dust, Mildew, Loose Particles, Peeling and Defective Coating as Needed. Prepare Surface to Receive New Primer and Appropriate Paint.
W3	Remove Peeling Paint, Patch and Repair, Seal Cracks and Prepare Surface to Receive New Primer and Paint.
W4	Remove Existing Wall Base.
W5	Floor to Ceiling, Clean and Repair FRP. Check all Corners to Provide New Corner Guard if Broken or Missing. New Wall Base, Trim and Corner Guard to Be Selected From FRP Manufacturer's Line.
W6	Contractor to Carefully Cut and Remove 48" AFF of Existing FRP. Clean up Remaining FRP. Replace Existing Gypsum Wallboard with New Plywood to Match Existing Substrate Thickness. Apply 48" of New FRP. Treat Seams as Recommended by Manufacturer. Provide New Corner Guards Where Applicable. New Wall Base, Trim and Corner Guards to be Selected from Manufacturer's Line.
W7	Repair Blemishes on Wall. Apply New Paint. Install New Wall Base.



1 Plan - Savage - Level 1
1/8" = 1'-0"

Finish Schedule

Finish Mark	Finish Description	Finish Manufacturer	Finish Model	Finish	Comments
Ceilings					
ACT1	Acoustical Ceiling Tile - Savage	Armstrong Ceiling & Wall Solutions	Invisacoustics Basics	1212WH	* Alternate 5 - Direct Attach to Drywall. Use Adhesive Recommended by Manufacturer
Flooring					
LVT1	Luxury Vinyl Tile - Carl Smith	Tarkett	iD Latitud Abstract	TBD	* Alternate 2 - Low Maintenance, Low Gloss Product for Soveneir, Office and Toilet. Base Design to be CS1.
CS1	Concrete Sealant - Carl Smith	Deck-O-Seal	Deck-O-Grip	Acrylic, Slip - Resistant Concrete Deck Sealer	*Alternate 1 - Base Design. Carl Smith Restroom Floor. Concessions
EPX1	Epoxy - Carl Smith	Dur-A-Flex	Poly-Crete SLB	Dark Grey	*Alternate 1. Carl Smith Restroom Floor. Concessions. Integrate 6" Wall Base
RB1	Rubber Flooring - Savage	Roppe	Raised Design Rubber Tread. #80 and #81 Rib Design	618 Aubergine	Savage Stairs S200
AFL1	Acoustic Flooring - Savage	Forbo	TBD	TBD	* Alternate 3 - Savage Second Level Flooring
CT1	Carpet Tile	Mats Inc.	Diagonal TIle	Blue	* Alternate 3 - Base Design. Savage Second Level. Quarter Turn Installation Method.
Paint					
PT1	Exterior CMU Paint - Carl Smith	Sherwin Williams	SW CF11W51 Series, ConFlex XL Elastomeric Smooth	Off White (TBD) - Flat	Field Paint at Building 1
PT2	Exterior Ferrous Metals Paint - Carl Smith	Sherwin Williams	B53-1150 Series, WB Alkyd Urethane Enamel Semi-Gloss	Green (TBD) - Semi-Gloss	Metal Paint at Building 1
PT3	Exterior Wood Soffit Paint - Carl Smith	Sherwin Williams	SW-B66-660 Series, Pro Industrial	Green (TBD) - Eg-Shel	Field Paint at Building 2, Building 3, Building 4 and Building 5
PT4-A	Interior Paint - Carl Smith & Savage	Sherwin Williams	SW K46 Series, Pre-Catalized Epoxy Semi-Gloss.	White (TBD) - Semi-Gloss	Field Paint at Women C102, Men C101, Concession C103, Concessions C301, Souveneirs C401, Office C402, Toilet C403, Savage Park
PT4-B	Interior Paint - Carl Smith	Sherwin Williams	B53-1150 Series, WB Alkyd Urethane Enamel Semi-Gloss	White (TBD) - Semi-Gloss	Metal Paint at Building 1
PT5	Interior Paint- Carl Smith	Sherwin Williams	SW K46 Series, Pre-Catalized Epoxy Semi-Gloss.	(TBD) - Semi-Gloss	Accent Paint at Women C102,, Men C101
PT6	Interior Paint - Carl Smith	Sherwin Williams	SW K46 Series, Pre-Catalized Epoxy Semi-Gloss.	(TBD) - Semi-Gloss	Accent Paint at Souveneirs C401, Office C402
PT7	Exterior CMU Paint - Carl Smith	Sherwin Williams	SW CF11W51 Series, ConFlex XL Elastomeric Smooth	Green (TBD) - Flat	Accent Paint at Building 1
PT8	Exterior Wood Soffit Paint - Carl Smith	Sherwin Williams	SW-B66-660 Series, Pro Industrial	Eg-Shel	Accent Paint at Building 2, Building 3, Building 4 and Building 5
PT9-A	Exterior CMU Paint - Savage	Sherwin Williams	SW CF11W51 Series, ConFlex XL Elastomeric Smooth	Blue (TBD) - Flat	Accent Band at Savage Park
PT9-B	Exterior Ferrous Metals Paint - Savage	Sherwin Williams	B53-1150 Series, WB Alkyd Urethane Enamel Semi-Gloss	Blue (TBD) - Semi-Gloss	Exterior Metal Paint at Savage Park
Trim					
TR1	Trim	Marlite			
TS1	Transition Strip	-	-	-	
Wall					
FRP1	Standard FRP - Carl Smith	Marlite	To Match Existing color	Smooth	Use Trim and Base Offered with Marlite Standard FRP. Color To Match Existing
Wall Base					
WB1	Wall Base - Carl Smith	Roppe			
WB2	Wall Base - Savage	Roppe			

Sheet Notes

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6	Exterior Drinking Fountain - To Recieve New Paint.
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9	Remove Floor Mounted Plumbing Fixtures to Install New Finishes. Reinstall Fixtures.

Legend

Overhead Element

Area Of No New Work

Finishes:

AFL1

CP1

LVT1

STATE OF OKLAHOMA
Joshua Kunkel
No. 6678
LICENSED ARCHITECT
09/25/20

REVISIONS	BY	DATE

A101-3 FLOOR PLANS - SAVAGE

SAVAGE/CARL SMITH PARK IMPROVEMENTS

CITY OF TULSA, OKLAHOMA
ENGINEERING SERVICES DEPARTMENT

PLANS PREPARED BY: METHOD.
CA 02939 - EXPIRES 6/30/21
2303 E Admiral Blvd. Tulsa, OK, 74114
T 918-623-5001
www.method.group

PLAN SCALE VARIES	DRAWN	AV	-	APPROVED:
PRINTING DAY	REVIEWED	JK	-	
	SURVEY			
PROFILE SCALE HORIZONTAL:	PROJ. MNGR.	[signature]	10/20	
1" =	LEAD ENG.	[signature]	10/20	
	FIELD MNGR.	[signature]	10/20	
VERTICAL: 1" =	RECOMMENDED: HAS 10.20 DESIGN MANAGER			CITY ENGINEER
FILE: 17451000	DRAWING:			DATE: 10.23.20
ATLAS PAGE NO.				SHEET: 6 OF 17

Finish Note Block

#	Note
Ceiling	
C1	Contractor to Carefully Remove Existing Light Fixtures, Protect and Store on Site. Contractor to Clean, Patch and Repair Ceiling Surface. Prepare Ceiling to Receive New Primer and Paint. Reinstall Light Fixtures After Ceiling Improvement Has Been Accomplished.
C2	Clean and Repair FRP on Ceiling.
C3	Repair Blemishes on Ceiling Substrate. Clean HVAC Supply and Diffusers. Prepare to Receive New Paint.
C4	Locate and Repair Water Leak. Remove Peeling Paint, Patch and Fill in any Cracks and Prepare for New Paint.
C5	Install New Ceiling Treatment.
Flooring	
F1	Base Bid - Existing Concrete Slab to be Cleaned Up. Remove Existing Caulking, Clean Cracks/Holes. Fill all Cracks/Holes and Provide New Caulking Where Needed. Prepare Slab to Receive New Concrete Sealant.
F2	Existing Caulking to be Removed. Concrete Slab, Clean and Repair all Cracks/Holes on Existing Concrete Slab. Provide New Caulk Where Needed. Prepare for New Epoxy Flooring and Extend Epoxy Flooring 4" Up the Walls.
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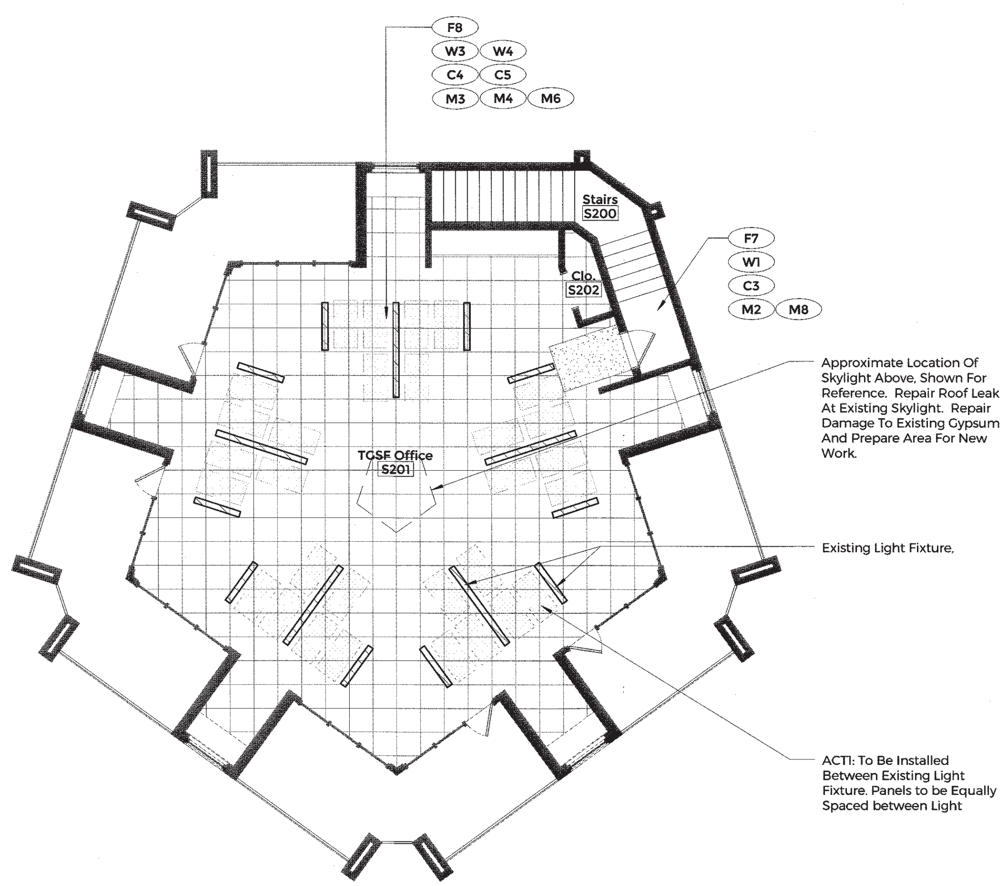
F4	Base Bid - Clean, Fill all Cracks/Holes and Prepare Existing Concrete Slab to Receive New Concrete Sealant.
F6	Clean Existing Epoxy Flooring. Fill in all Cracks and Holes. Repair Epoxy Termination at Drain Locations. Incorporate Epoxy Wall Base Throughout Perimeter. Adjust all Piping to Drip on Floor Drains Properly.
F7	Remove Current Rubber Flooring. Prepare Surface to Receive New Flooring.
F8	Remove Current Broadloom Carpet. Prepare Slab to Receive New Flooring.
Miscellaneous	
M1	Contractor to Check Condition of Wall Hung Fixtures Connection to Walls. Remove Depleted Sealant or Caulking and Replace with New.
M2	Remove Rust from Metal at Toilet Partitions and Apply Rust Inhibitive, Corrosion Resistant Primer. Prepare to Receive New Topcoat.
M3	Clean, Patch and Repair Base Cabinets as Needed. Prepare to Receive New Paint. Countertop to Be Cleaned.
M4	Contractor to Inspect Countertop and Backsplash. Ensure All Plastic Laminate is Secured. Glue any Loose Plastic Laminate. Ensure All Vertical/Horizontal Surfaces are Leveled. Adjust if Crooked or Out of Alignment.
M5	Clean, Patch and Repair Base Cabinets. Prepare to Receive New Paint. Countertop to Be Cleaned.
M6	Interior Doors and Frames To Be Refinished. Door's Hardware to be Adjusted/Repaired..

Finish Note Block

#	Note
M7	Clean all Plumbing Fixtures. Remove/Repair/Replace any Broken or Damaged Piece.
M8	Stair Stringer and Handrail to be cleaned and Prepare to Receive New Paint.
Walls	
M2	Remove All Dirt, Dust, Mildew, Loose Particles, Peeling and Defective Coating as Needed. Prepare Surface to Receive New Primer and Appropriate Paint.
W1	Clean Surface. If Paint is Peeling, Remove all Weathered Paint and Bring Substrate Condition Ready to Receive New Primer and Paint. Make Sure all Cracks and Holes are Filled in Prior to Paint Application.
W2	Remove All Dirt, Dust, Mildew, Loose Particles, Peeling and Defective Coating as Needed. Prepare Surface to Receive New Primer and Appropriate Paint.
W3	Remove Peeling Paint, Patch and Repair, Seal Cracks and Prepare Surface to Receive New Primer and Paint.
W4	Remove Existing Wall Base.
W5	Floor to Ceiling, Clean and Repair FRP. Check all Corners to Provide New Corner Guard if Broken or Missing. New Wall Base, Trim and Corner Guard to Be Selected From FRP Manufacturer's Line.
W6	Contractor to Carefully Cut and Remove 48" AFF of Existing FRP. Clean up Remaining FRP. Replace Existing Gypsum Wallboard with New Plywood to Match Existing Substrate Thickness. Apply 48" of New FRP. Treat Seams as Recommended by Manufacturer. Provide New Corner Guards Where Applicable. New Wall Base, Trim and Corner Guards to be Selected from Manufacturer's Line.
W7	Repair Blemishes on Wall. Apply New Paint. Install New Wall Base.



1 Plan - Savage Park - Level 2
1/8" = 1'-0"

Finish Schedule

Finish Mark	Finish Description	Finish Manufacturer	Finish Model	Finish	Comments
Ceilings					
ACT1	Acoustical Ceiling Tile - Savage	Armstrong Ceiling & Wall Solutions	Invisacoustics Basics	1212WH	* Alternate 5 - Direct Attach to Drywall. Use Adhesive Recommended by Manufacturer
Flooring					
LVT1	Luxury Vinyl Tile - Carl Smith	Tarkett	iD Latitud Abstract	TBD	* Alternate 2 - Low Maintenance, Low Gloss Product for Soveneir, Office and Toilet. Base Design to be CS1.
CS1	Concrete Sealant - Carl Smith	Deck-O-Seal	Deck-O-Grip	Acrylic, Slip - Resistant Concrete Deck Sealer	*Alternate 1 - Base Design. Carl Smith Restroom Floor. Concessions
EPX1	Epoxy - Carl Smith	Dur-A-Flex	Poly-Crete SLB	Dark Grey	*Alternate 1. Carl Smith Restroom Floor. Concessions. Integrate 6" Wall Base
RB1	Rubber Flooring - Savage	Roppe	Raised Design Rubber Tread. #80 and #81 Rib Design	618 Aubergine	Savage Stairs S200
AFL1	Acoustic Flooring - Savage	Forbo	TBD	TBD	* Alternate 3 - Savage Second Level Flooring
CT1	Carpet Tile	Mats Inc.	Diagonal TIle	Blue	* Alternate 3 - Base Design. Savage Second Level. Quarter Turn Installation Method.
Paint					
PT1	Exterior CMU Paint - Carl Smith	Sherwin Williams	SW CF11W51 Series, ConFlex XL Elastomeric Smooth	Off White (TBD) - Flat	Field Paint at Building 1
PT2	Exterior Ferrous Metals Paint - Carl Smith	Sherwin Williams	B53-1150 Series, WB Alkyd Urethane Enamel Semi-Gloss	Green (TBD) - Semi-Gloss	Metal Paint at Building 1
PT3	Exterior Wood Soffit Paint - Carl Smith	Sherwin Williams	SW-B66-660 Series, Pro Industrial	Green (TBD) - Eg-Shel	Field Paint at Building 2, Building 3, Building 4 and Building 5
PT4-A	Interior Paint - Carl Smith & Savage	Sherwin Williams	SW K46 Series, Pre-Catalized Epoxy Semi-Gloss.	White (TBD) - Semi-Gloss	Field Paint at Women C102, Men C101, Concession C103, Concessions C301, Souveneirs C401, Office C402, Toilet C403, Savage Park
PT4-B	Interior Paint - Carl Smith	Sherwin Williams	B53-1150 Series, WB Alkyd Urethane Enamel Semi-Gloss	White (TBD) - Semi-Gloss	Metal Paint at Building 1
PT5	Interior Paint- Carl Smith	Sherwin Williams	SW K46 Series, Pre-Catalized Epoxy Semi-Gloss.	(TBD) - Semi-Gloss	Accent Paint at Women C102,, Men C101
PT6	Interior Paint - Carl Smith	Sherwin Williams	SW K46 Series, Pre-Catalized Epoxy Semi-Gloss.	(TBD) - Semi-Gloss	Accent Paint at Souveneirs C401, Office C402
PT7	Exterior CMU Paint - Carl Smith	Sherwin Williams	SW CF11W51 Series, ConFlex XL Elastomeric Smooth	Green (TBD) - Flat	Accent Paint at Building 1
PT8	Exterior Wood Soffit Paint - Carl Smith	Sherwin Williams	SW-B66-660 Series, Pro Industrial	Eg-Shel	Accent Paint at Building 2, Building 3, Building 4 and Building 5
PT9-A	Exterior CMU Paint - Savage	Sherwin Williams	SW CF11W51 Series, ConFlex XL Elastomeric Smooth	Blue (TBD) - Flat	Accent Band at Savage Park
PT9-B	Exterior Ferrous Metals Paint - Savage	Sherwin Williams	B53-1150 Series, WB Alkyd Urethane Enamel Semi-Gloss	Blue (TBD) - Semi-Gloss	Exterior Metal Paint at Savage Park
Trim					
TR1	Trim	Marlite			
TS1	Transition Strip	-	-	-	
Wall					
FRP1	Standard FRP - Carl Smith	Marlite	To Match Existing color	Smooth	Use Trim and Base Offered with Marlite Standard FRP. Color To Match Existing
Wall Base					
WB1	Wall Base - Carl Smith	Roppe			
WB2	Wall Base - Savage	Roppe			

Sheet Notes

	Notes
1	All Construction Shall be Done in Compliance with the Americans With Disabilities Act (ADA) and the City of Tulsa Building Code
2	Field Verify Dimensions of Existing Conditions. Dimensions are From Face of Mansonry/Wall, Unless Noted Otherwise.
3	HVAC Supplies and Diffusers - Contractor to Clean and Paint as Needed.
4	Existing Interior Doors and Frames - Contractor to Clean, Repair Hardware as Needed. Adjust any Misalignments and Prepare to Receive New Paint.
5	Existing Exterior Doors and Frames - Contractor to Clean, Repair Hardware as Needed. Adjust any Misalignments and Prepare to Receive New Paint. Provide New Sweap and Threshold where Needed.
6	Exterior Drinking Fountain - To Recieve New Paint.
7	Accessories - Contractor to Protect All Existing Accessories While Working on Site. Remove and Store Accessories when Needed. Re-install Once Work has Been Accomplished. Any Current Damaged or Broken Accessory to be Replaced Upon Approval.
8	Existing Millwork - Contractor to Inspect Millwork and Adjust/Repair any Lose Hardware, Fill In or Repair any Large Defects. Secure any Lose Plastic Laminate and Backsplash. Verify Surfaces are Leveled. Verify All Legs and Base Cabinets are Correclty Secured and Straight.
9	Remove Floor Mounted Plumbing Fixtures to Install New Finishes. Reinstall Fixtures.

Legend

- Overhead Element
- Area Of No New Work

Finishes:

- AFL1
- CP1
- LVT1

STATE OF OKLAHOMA
Joshua Kunkel
No. 6678
LICENSED ARCHITECT
09/25/20

REVISIONS	BY	DATE

A101-4 FLOOR PLANS - SAVAGE

SAVAGE/CARL SMITH PARK IMPROVEMENTS

CITY OF TULSA, OKLAHOMA
ENGINEERING SERVICES DEPARTMENT

PLANS PREPARED BY: METHOD.
CA 02939 - EXPIRES 6/30/21
2303 E Admiral Blvd. Tulsa, OK, 74114
T 918-623-5001
www.method.group

PLAN SCALE VARIES	DRAWN	AV	-	APPROVED:
	REVIEWED	JK	-	
PRINTING DAY	SURVEY			
PROFILE SCALE HORIZONTAL:	PROJ. MNGR.	GB	10/20	
1" =	LEAD ENG.	MAH	10/20	
VERTICAL:	FIELD MNGR.	RZW	10/20	
1" =	RECOMMENDED: HAS 10.20 DESIGN MANAGER			CITY ENGINEER
FILE: 17451000	DRAWING:			DATE: 10.23.20
ATLAS PAGE NO.				SHEET: 7 OF 17

Finish Note Block

#	Note
Ceiling	
C1	Contractor to Carefully Remove Existing Light Fixtures, Protect and Store on Site. Contractor to Clean, Patch and Repair Ceiling Surface. Prepare Ceiling to Receive New Primer and Paint. Reinstall Light Fixtures After Ceiling Improvement Has Been Accomplished.
C2	Clean and Repair FRP on Ceiling.
C3	Repair Blemishes on Ceiling Substrate. Clean HVAC Supply and Diffusers. Prepare to Receive New Paint.
C4	Locate and Repair Water Leak. Remove Peeling Paint, Patch and Fill in any Cracks and Prepare for New Paint.
C5	Install New Ceiling Treatment.
Flooring	
F1	Base Bid - Existing Concrete Slab to be Cleaned Up. Remove Existing Caulking, Clean Cracks/Holes. Fill all Cracks/Holes and Provide New Caulking Where Needed. Prepare Slab to Receive New Concrete Sealant.
F2	Existing Caulking to be Removed. Concrete Slab, Clean and Repair all Cracks/Holes on Existing Concrete Slab. Provide New Caulk Where Needed. Prepare for New Epoxy Flooring and Extend Epoxy Flooring 4" Up the Walls.
F3	Remove Existing VCT Flooring. Patch and Repair all Cracks/Holes and Prepare Concrete Slab to Receive New Epoxy Flooring.
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M4	Contractor to Inspect Countertop and Backsplash. Ensure All Plastic Laminate is Secured. Glue any Loose Plastic Laminate. Ensure All Vertical/Horizontal Surfaces are Leveled. Adjust if Crooked or Out of Alignment.
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Finish Note Block

#	Note
M7	Clean all Plumbing Fixtures. Remove/Repair/Replace any Broken or Damaged Piece.
M8	Stair Stringer and Handrail to be cleaned and Prepare to Receive New Paint.
Walls	
M2	Remove All Dirt, Dust, Mildew, Loose Particles, Peeling and Defective Coating as Needed. Prepare Surface to Receive New Primer and Appropriate Paint.
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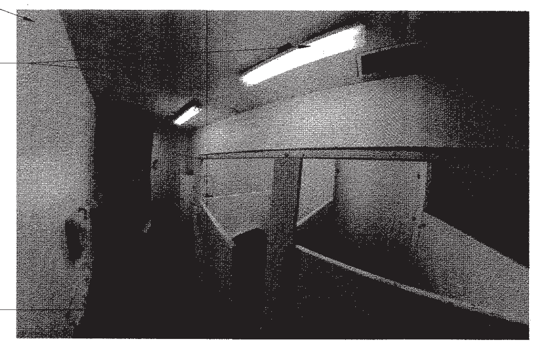
W7	Repair Blemishes on Wall. Apply New Paint. Install New Wall Base.

1 Building 1 - Men South
Not To Scale



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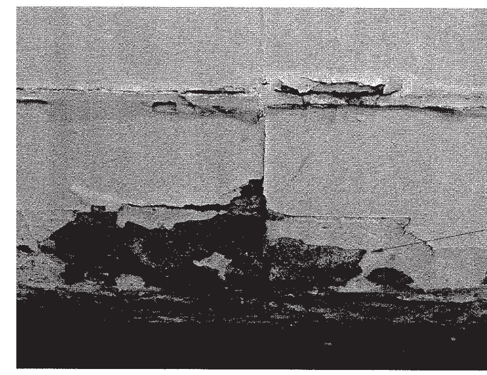

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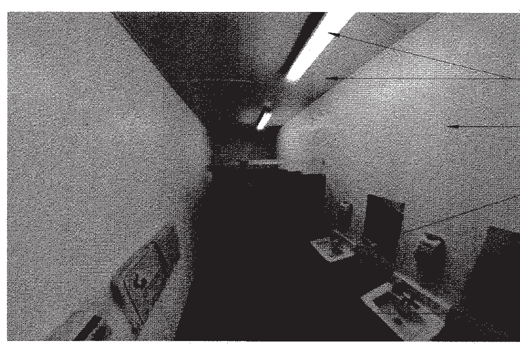
Not To Scale

4 Building 1 - Men Toilet Partition
Not To Scale



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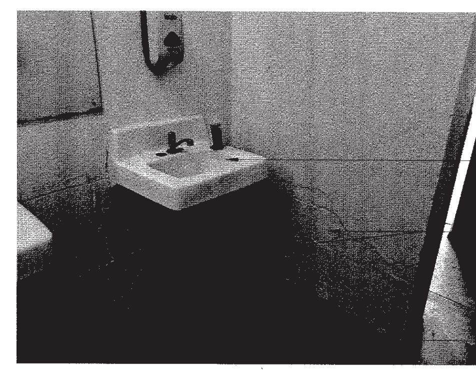
Not To Scale

6 Building 1 - Women North
Not To Scale



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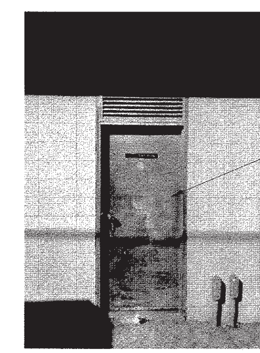

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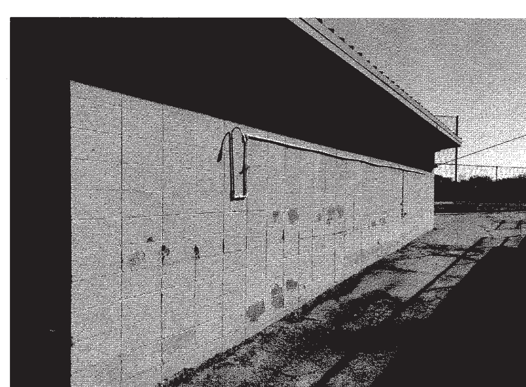

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10 Building 1 - Exterior 2
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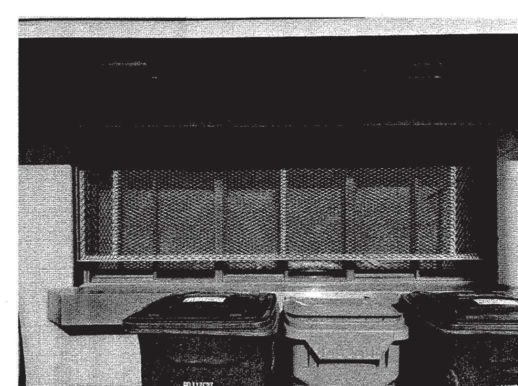

11 Building 1 - Exterior 3
Not To Scale

STATE OF OKLAHOMA
Joshua Kunkel
No. 6678
LICENSED ARCHITECT
09/25/20

A110-1 EXISTING CONDITIONS AND NOTES - CARL SMITH

SAVAGE/CARL SMITH PARK IMPROVEMENTS

CITY OF TULSA, OKLAHOMA
ENGINEERING SERVICES DEPARTMENT

PLANS PREPARED BY:
METHOD.
CA 02939 - EXPIRES 6/30/21
2303 E Admiral Blvd. Tulsa, OK, 74114
T 918-623-5001
www.method.group

REVISIONS	BY	DATE

PLAN SCALE VARIES	DRAWN	AV	-	APPROVED:
PRINTING DAY	REVIEWED	JK	-	
	SURVEY			
PROFILE SCALE HORIZONTAL:	PROJ. MNGR.	GB	10/20	
1" =	LEAD ENG.	[illegible]	10/20	
VERTICAL:	FIELD MNGR.	[illegible]	10/20	
1" =	RECOMMENDED: HAS 10.20 DESIGN MANAGER			CITY ENGINEER
FILE: 17451000	DRAWING:			DATE: 10.23.20
ATLAS PAGE NO.				SHEET: 8 OF 17

Finish Note Block

#	Note
Ceiling	
C1	Contractor to Carefully Remove Existing Light Fixtures, Protect and Store on Site. Contractor to Clean, Patch and Repair Ceiling Surface. Prepare Ceiling to Receive New Primer and Paint. Reinstall Light Fixtures After Ceiling Improvement Has Been Accomplished.
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C3	Repair Blemishes on Ceiling Substrate. Clean HVAC Supply and Diffusers. Prepare to Receive New Paint.
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C5	Install New Ceiling Treatment.
Flooring	
F1	Base Bid - Existing Concrete Slab to be Cleaned Up. Remove Existing Caulking, Clean Cracks/Holes. Fill all Cracks/Holes and Provide New Caulking Where Needed. Prepare Slab to Receive New Concrete Sealant.
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Finish Note Block

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Walls	
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W7	Repair Blemishes on Wall. Apply New Paint. Install New Wall Base.

Sheet Notes

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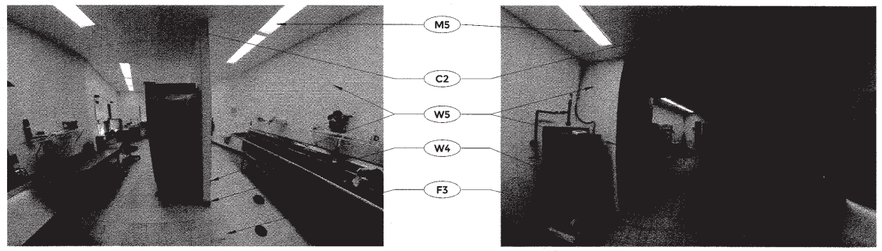

1 Building 3 - North West
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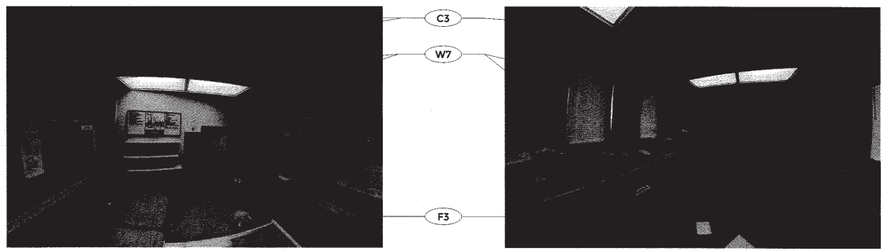
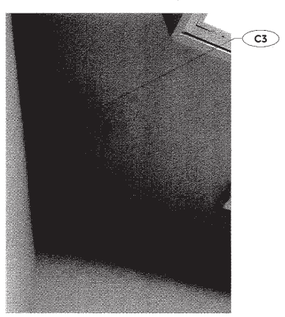
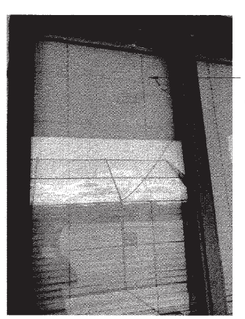


Souvenirs

Office

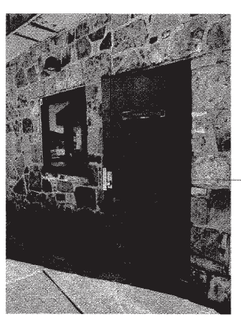


Toilet



Repair Broken Glass

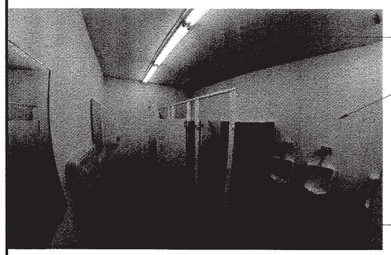
Building 4 Exterior



Existing Door and Frame to be Cleaned, Repair Hardware as Needed, Adjust Any Misalignments and Prepare to Receive New Paint. Provide New Sweep and Threshold Where Needed.

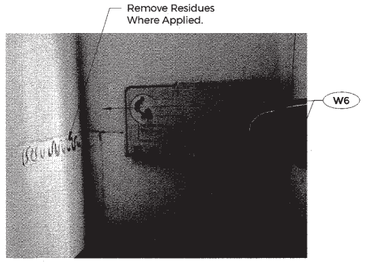
Building 4 Exterior

3 Building 4
Not To Scale

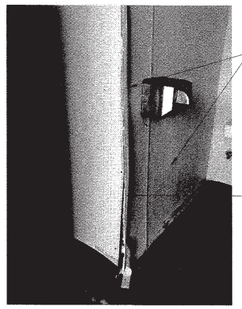


Men's - North East

Women's - East



Baby Changing Station



Remove Tape Where Applied. Repair Walls as Noted on W6.

General Condition

Existing Door and Frame to be Cleaned, Repair Hardware as Needed, Adjust Any Misalignments and Prepare to Receive New Paint. Provide New Sweep and Threshold Where Needed.

General Condition

General Condition

4 Building 5 - Restrooms
Not To Scale

STATE OF OKLAHOMA
Joshua Kunkel
No. 6678
LICENSED ARCHITECT

09/25/20

REVISIONS	BY	DATE

A110-2 EXISTING CONDITIONS AND NOTES - CARL SMITH

SAVAGE/CARL SMITH PARK IMPROVEMENTS

CITY OF TULSA, OKLAHOMA
ENGINEERING SERVICES DEPARTMENT

PLANS PREPARED BY: METHOD. CA 02939 - EXPIRES 6/30/21
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HORIZONTAL:	LEAD ENG.		10/20
1" =	FIELD MNGR.	BZW	10/20
VERTICAL:	RECOMMENDED:	HAS	10.20
1" =	DESIGN MANAGER		

APPROVED:

CITY ENGINEER

FILE: 17451000 DRAWING:

DATE: 10.23.20

ATLAS PAGE NO.

SHEET: 9 OF 17

9/25/2020 3:44:41 PM
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Finish Note Block

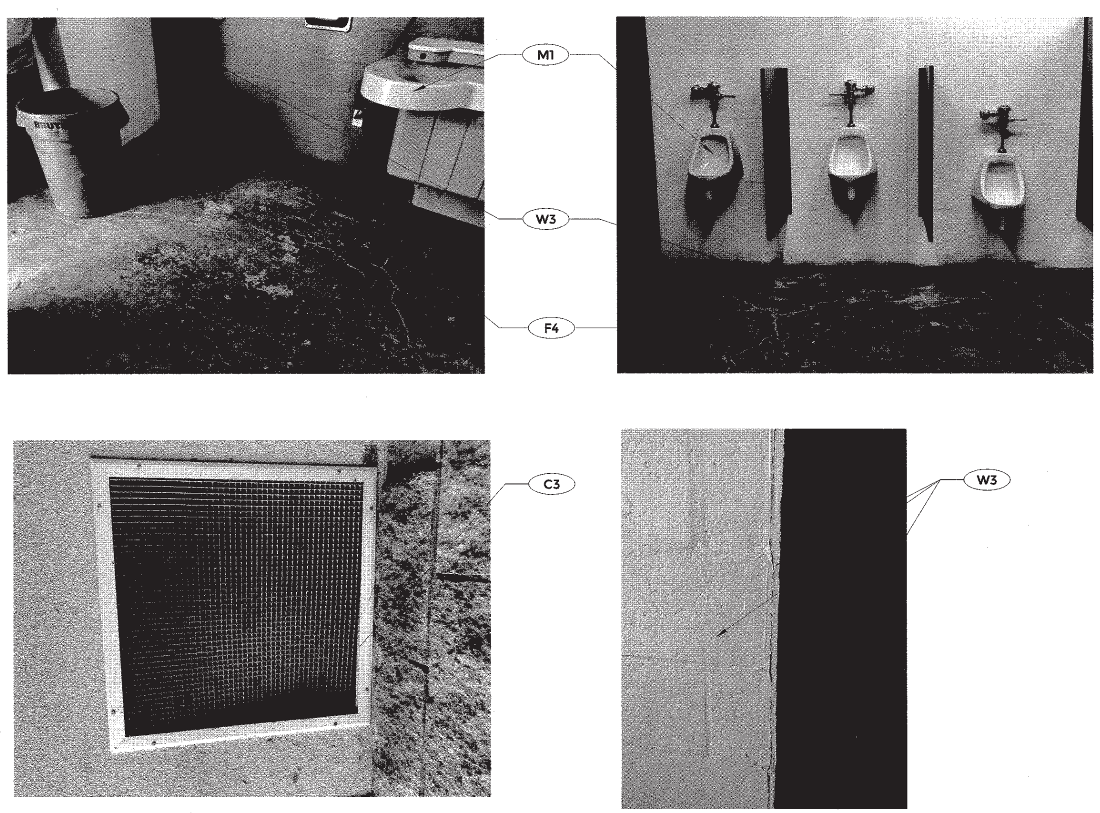
#	Note
Ceiling	
C1	Contractor to Carefully Remove Existing Light Fixtures, Protect and Store on Site. Contractor to Clean, Patch and Repair Ceiling Surface. Prepare Ceiling to Receive New Primer and Paint. Reinstall Light Fixtures After Ceiling Improvement Has Been Accomplished.
C2	Clean and Repair FRP on Ceiling.
C3	Repair Blemishes on Ceiling Substrate. Clean HVAC Supply and Diffusers. Prepare to Receive New Paint.
C4	Locate and Repair Water Leak. Remove Peeling Paint, Patch and Fill in any Cracks and Prepare for New Paint.
C5	Install New Ceiling Treatment.
Flooring	
F1	Base Bid - Existing Concrete Slab to be Cleaned Up. Remove Existing Caulking, Clean Cracks/Holes. Fill all Cracks/Holes and Provide New Caulking Where Needed. Prepare Slab to Receive New Concrete Sealant.
F2	Existing Caulking to be Removed. Concrete Slab, Clean and Repair all Cracks/Holes on Existing Concrete Slab. Provide New Caulk Where Needed. Prepare for New Epoxy Flooring and Extend Epoxy Flooring 4" Up the Walls.
F3	Remove Existing VCT Flooring. Patch and Repair all Cracks/Holes and Prepare Concrete Slab to Receive New Epoxy Flooring.
F4	Base Bid – Clean, Fill all Cracks/Holes and Prepare Existing Concrete Slab to Receive New Concrete Sealant.
F6	Clean Existing Epoxy Flooring. Fill in all Cracks and Holes. Repair Epoxy Termination at Drain Locations. Incorporate Epoxy Wall Base Throughout Perimeter. Adjust all Piping to Drip on Floor Drains Properly.
F7	Remove Current Rubber Flooring. Prepare Surface to Receive New Flooring.
F8	Remove Current Broadloom Carpet. Prepare Slab to Receive New Flooring.
Miscellaneous	
M1	Contractor to Check Condition of Wall Hung Fixtures Connection to Walls. Remove Depleted Sealant or Caulking and Replace with New.
M2	Remove Rust from Metal at Toilet Partitions and Apply Rust Inhibitive, Corrosion Resistant Primer. Prepare to Receive New Topcoat.
M3	Clean, Patch and Repair Base Cabinets as Needed. Prepare to Receive New Paint. Countertop to Be Cleaned.
M4	Contractor to Inspect Countertop and Backsplash. Ensure All Plastic Laminate is Secured. Glue any Loose Plastic Laminate. Ensure All Vertical/Horizontal Surfaces are Leveled. Adjust if Crooked or Out of Alignment.
M5	Clean, Patch and Repair Base Cabinets. Prepare to Receive New Paint. Countertop to Be Cleaned.
M6	Interior Doors and Frames To Be Refinished. Door's Hardware to be Adjusted/Repaired..

Finish Note Block

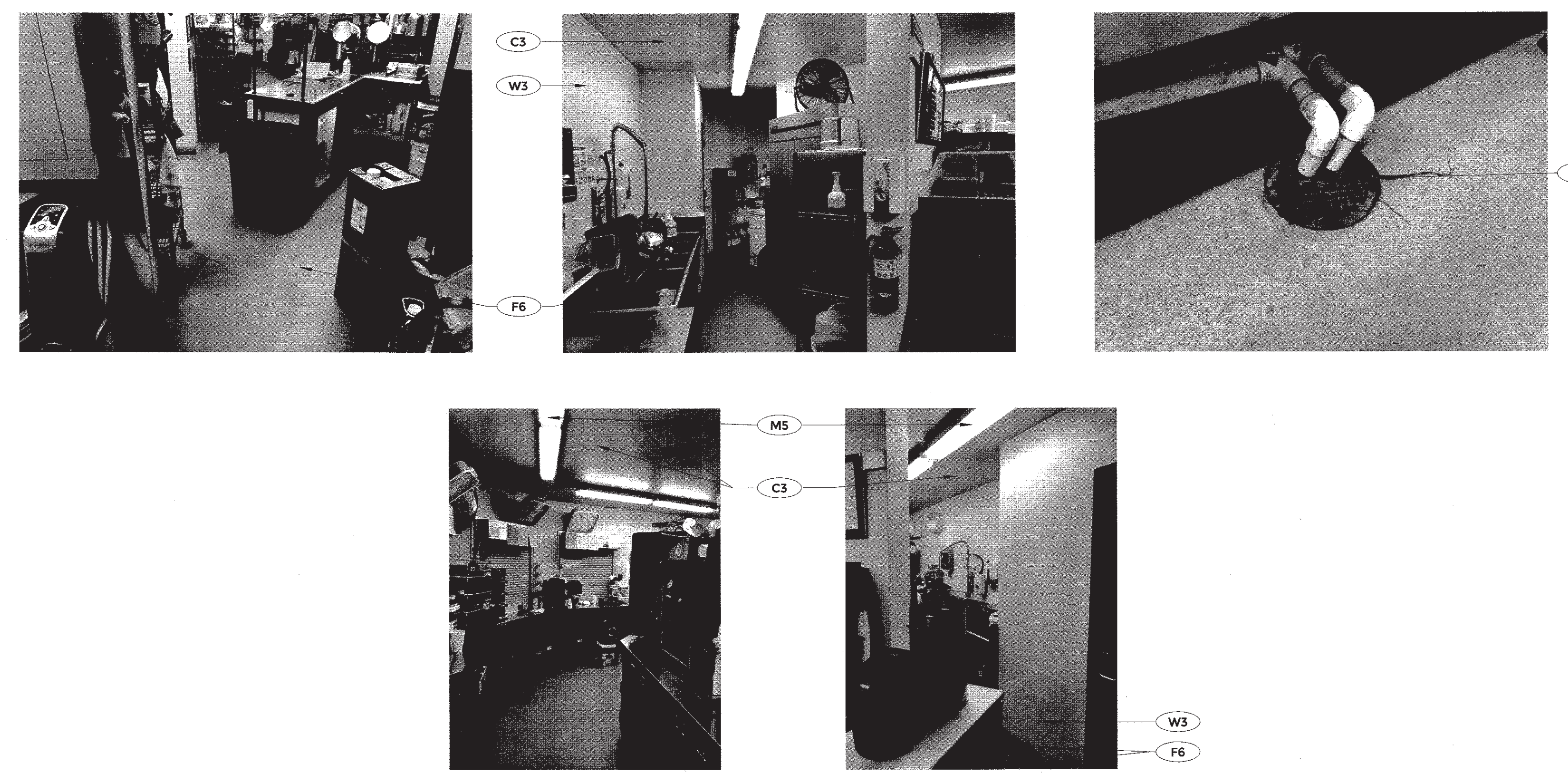
#	Note
M7	Clean all Plumbing Fixtures. Remove/Repair/Replace any Broken or Damaged Piece.
M8	Stair Stringer and Handrail to be cleaned and Prepare to Receive New Paint.
Walls	
M2	Remove All Dirt, Dust, Mildew, Loose Particles, Peeling and Defective Coating as Needed. Prepare Surface to Receive New Primer and Appropriate Paint.
W1	Clean Surface. If Paint is Peeling, Remove all Weathered Paint and Bring Substrate Condition Ready to Receive New Primer and Paint. Make Sure all Cracks and Holes are Filled in Prior to Paint Application.
W2	Remove All Dirt, Dust, Mildew, Loose Particles, Peeling and Defective Coating as Needed. Prepare Surface to Receive New Primer and Appropriate Paint.
W3	Remove Peeling Paint, Patch and Repair, Seal Cracks and Prepare Surface to Receive New Primer and Paint.
W4	Remove Existing Wall Base.
W5	Floor to Ceiling, Clean and Repair FRP. Check all Corners to Provide New Corner Guard if Broken or Missing. New Wall Base, Trim and Corner Guard to Be Selected From FRP Manufacturer's Line.
W6	Contractor to Carefully Cut and Remove 48" AFF of Existing FRP. Clean up Remaining FRP. Replace Existing Gypsum Wallboard with New Plywood to Match Existing Substrate Thickness. Apply 48" of New FRP. Treat Seams as Recommended by Manufacturer. Provide New Corner Guards Where Applicable. New Wall Base, Trim and Corner Guards to be Selected from Manufacturer's Line.
W7	Repair Blemishes on Wall. Apply New Paint. Install New Wall Base.

Sheet Notes

	Notes
1	All Construction Shall be Done in Compliance with the Americans With Disabilities Act (ADA) and the City of Tulsa Building Code
2	Field Verify Dimensions of Existing Conditions. Dimensions are From Face of Mansonry/Wall, Unless Noted Otherwise.
3	HVAC Supplies and Diffusers - Contractor to Clean and Paint as Needed.
4	Existing Interior Doors and Frames - Contractor to Clean, Repair Hardware as Needed. Adjust any Misalignments and Prepare to Receive New Paint.
5	Existing Exterior Doors and Frames - Contractor to Clean, Repair Hardware as Needed. Adjust any Misalignments and Prepare to Receive New Paint. Provide New Sweap and Threshold where Needed.
6	Exterior Drinking Fountain - To Recieve New Paint.
7	Accessories - Contractor to Protect All Existing Accessories While Working on Site. Remove and Store Accessories when Needed. Re-install Once Work has Been Accomplished. Any Current Damaged or Broken Accessory to be Replaced Upon Approval.
8	Existing Millwork - Contractor to Inspect Millwork and Adjust/Repair any Lose Hardware, Fill In or Repair any Large Defects. Secure any Lose Plastic Laminate and Backsplash. Verify Surfaces are Leveled. Verify All Legs and Base Cabinets are Correclty Secured and Straight.
9	Remove Floor Mounted Plumbing Fixtures to Install New Finishes. Reinstall Fixtures.



1 Savage - Level 1 Men
Not To Scale



3 Savage - Level 1 Concessions
Not To Scale

2 Savage - Level 1 Women
Not To Scale

STATE OF OKLAHOMA · Joshua Kunkel · No. 6678 · LICENSED ARCHITECT

09/25/20

A110-3	EXISTING CONDITIONS AND NOTES - SAVAGE

SAVAGE/CARL SMITH PARK IMPROVEMENTS

CITY OF TULSA, OKLAHOMA
ENGINEERING SERVICES DEPARTMENT

PLANS PREPARED BY: METHOD.
CA 02939 - EXPIRES 6/30/21
2303 E Admiral Blvd. Tulsa, OK, 74114
T 918-623-5001
www.method.group

REVISIONS	BY	DATE	PLAN SCALE				APPROVED:
			VARIES	DRAWN	AV	-	
			PRINTING DAY	REVIEWED	JK	-	
				SURVEY			
			PROFILE SCALE	PROJ. MNGR.	GB	10/20	
			HORIZONTAL:	LEAD ENG.	[illegible]	10/20	
			1" =	FIELD MNGR.	[illegible]	10/20	
			VERTICAL: 1" =	RECOMMENDED: HAK 10.20 DESIGN MANAGER			CITY ENGINEER
			FILE: 17451000	DRAWING:			DATE: 10.23.20
			ATLAS PAGE NO.				SHEET: 10 OF 17

Finish Note Block

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Finish Note Block

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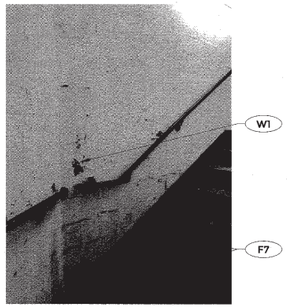

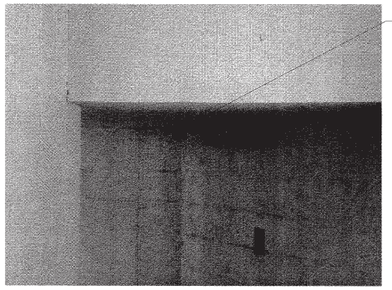

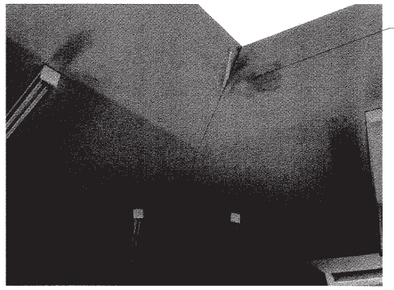

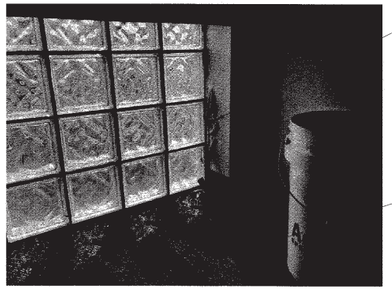

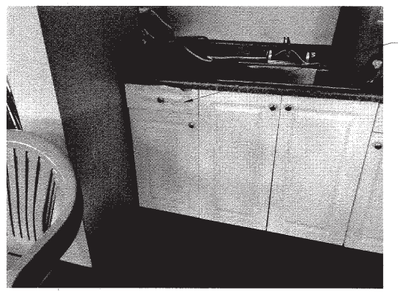

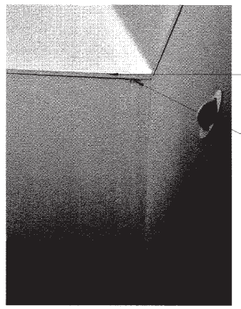

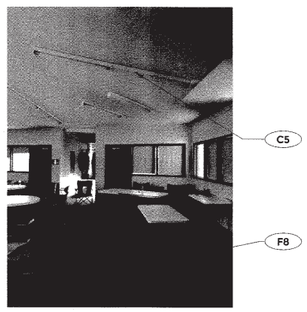

1 Savage - Level 2
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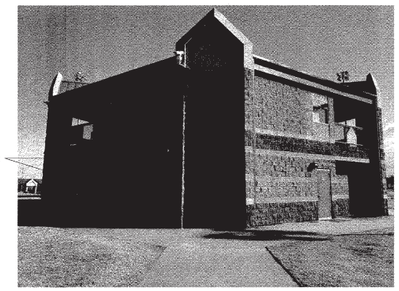
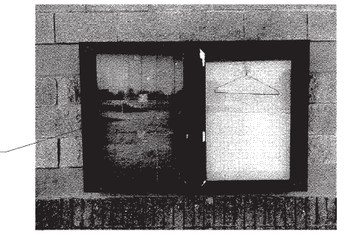




2 Savage - Exterior
Not To Scale

STATE OF OKLAHOMA
Joshua
Kamps
No. 6678
LICENSED ARCHITECT
09/25/20

REVISIONS	BY	DATE

PLAN SCALE: VARIES
PRINTING DAY
PROFILE SCALE
HORIZONTAL: 1" =
VERTICAL: 1" =

DRAWN	AV	.
REVIEWED	JK	.
SURVEY		
PROJ. MNGR.	EPO	10/20
LEAD ENG.	MAH	10/20
FIELD MNGR.	ZCM	10/20
RECOMMENDED: DESIGN MANAGER	HAS	10.20

FILE: 17451000 DRAWING:
ATLAS PAGE NO.

APPROVED:
CITY ENGINEER
DATE: 10.23.20
SHEET: 11 OF 17

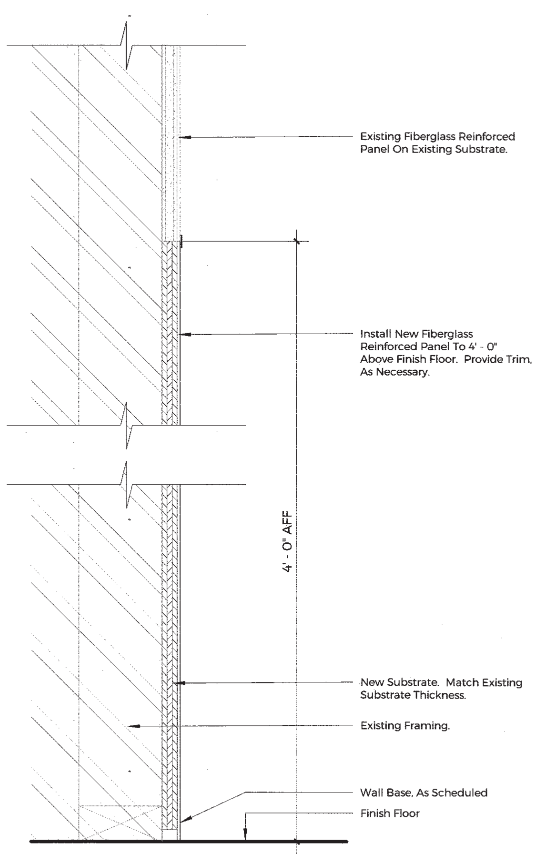
A110-4 EXISTING CONDITIONS AND NOTES - SAVAGE

SAVAGE/CARL SMITH PARK IMPROVEMENTS

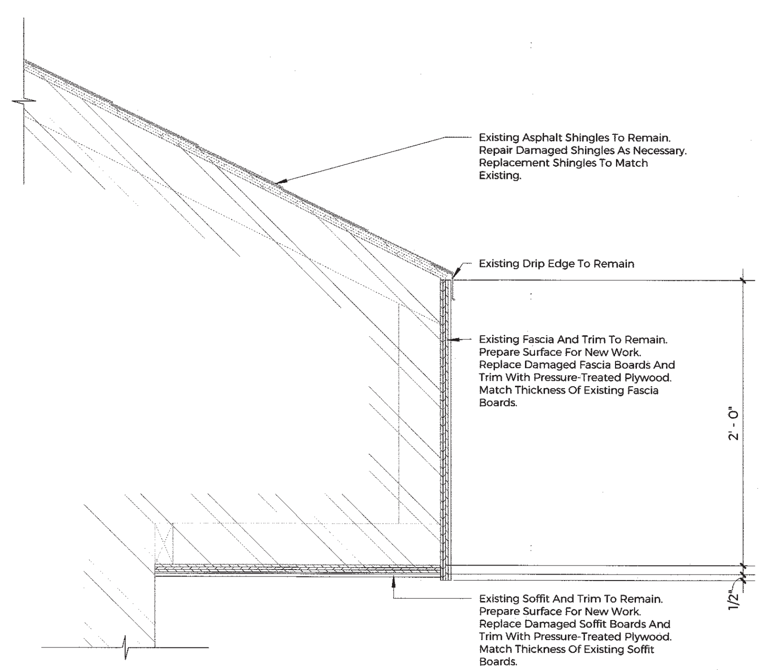
CITY OF TULSA, OKLAHOMA
ENGINEERING SERVICES DEPARTMENT

PLANS PREPARED BY:
METHOD.
CA 02699 - EXPIRES 6/30/21
2303 E Admiral Blvd. Tulsa, OK, 74114
T 918-623-5001
www.method.group

9/25/2020 3:44:54 PM
Bill: 360719017_Carl Smith Park\19017_Carl Smith Improvements_19.rvt



1	Detail - FRP Repair	
	3" = 1'-0"	



2	Detail - Soffit Repair	
	1 1/2" = 1'-0"	RE: 1/A101-1

9/25/2020 3:44:54 PM
BIM 360://19017_Carl Smith Park/19017_Carl Smith Improvements_19.rvt

STATE OF OKLAHOMA
Joshua Kunkel
No. 6678
LICENSED ARCHITECT
09/25/20

A501 DETAILS

SAVAGE/CARL SMITH PARK IMPROVEMENTS

CITY OF TULSA, OKLAHOMA
ENGINEERING SERVICES DEPARTMENT

PLANS PREPARED BY: METHOD.
CA 02939 - EXPIRES 6/30/21
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REVISIONS	BY	DATE	PLAN SCALE				APPROVED:
			VARIES	DRAWN	AV	-	
			PRINTING DAY	REVIEWED	JK	-	
				SURVEY			
			PROFILE SCALE	PROJ. MNGR.	GG	10/20	
			HORIZONTAL:	LEAD ENG.	MAH	10/20	
			1" =	FIELD MNGR.	ZCM	10/20	
			VERTICAL:	RECOMMENDED: HAS 10.20			
			1" =	DESIGN MANAGER			CITY ENGINEER
			FILE: 17451000	DRAWING:			DATE: 10.23.20
			ATLAS PAGE NO.				SHEET: 12 OF 17

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH THE CURRENT EDITION OF THE INTERNATIONAL MECHANICAL CODE AND NFPA 90A TO MEET CITY AND STATE REQUIREMENTS.
2. REFER TO ARCHITECTURAL PLANS FOR:
   - REFLECTED CEILING PLAN FOR EXACT LOCATION OF AIR DEVICES AND CEILING TYPES
3. ALL DUCT DIMENSIONS REPRESENT INSIDE NET FREE AREA. INCREASE DUCT DIMENSIONS AS REQUIRED WHERE INTERNAL LINER IS SPECIFIED.
4. ALL DUCTWORK SHALL CONSTRUCTED FROM GALVANIZED STEEL IN CONFORMANCE WITH SMACNA "HVAC DUCT CONSTRUCTION STANDARDS" LATEST EDITION.
5. ALL SUPPLY, RETURN, AND OUTSIDE AIR DUCTS SHALL BE INTERNALLY LINED WITH 1" INSULATION WERE LOCATED IN CONCEALED LOCATIONS (UNLESS OTHERWISE NOTED).
6. COMPLETELY INSULATE THE TOPS OF ALL CEILING DIFFUSERS.
7. MECHANICAL CONTRACTOR TO CHECK TIGHT CLEARANCES AT EQUIPMENT, LIGHTS, AND STRUCTURAL MEMBERS. ADJUST DUCT SIZE OR REROUTE DUCT TO CLEAR OBSTRUCTIONS WITH MINIMUM NUMBER OF ELBOWS AND ELEVATION CHANGES.
8. ALL DIFFUSER AND AIR DEVICE LOCATIONS SHALL BE COORDINATED WITH ARCHITECTURAL AND ELECTRICAL ITEMS PRIOR TO FABRICATION.
9. CLOSELY COORDINATE LOCATIONS OF INSTALLED EQUIPMENT TO ACHIEVE THE GREATEST ACCESSIBILITY.
10. PROVIDE FLEXIBLE CONNECTIONS AT INLETS AND OUTLETS OF ALL AIR HANDLING UNITS, MAKE-UP AIR UNITS, FURNACES, AND/OR EXHAUST FANS.
11. PROVIDE 4" CONCRETE PADS UNDER ALL GROUND MOUNTED CONDENSING UNITS. EACH PAD TO EXTEND A MINIMUM OF 6" BEYOND OUTLINE OF UNIT ON ALL SIDES.
12. ATTIC MOUNTED AND ABOVE CEILING MOUNTED EQUIPMENT SUBJECT TO WATER/CONDENSATE OVER FLOW SHALL BE SET IN DRAIN PANS WITH DRAINS TO THE OUTSIDE OR SANITARY SEWER SYSTEM WITH VISIBLE DISCHARGE.
13. CONDENSATE PIPING SHALL BE COMPRISED OF TYPE "M" DWV COPPER, OR SCHEDULE 40 PVC. (SLOPE AT 1/8" PER FOOT). SECURE BY GUIDES AND SUPPORTS FOR PIPE SIZE SHOWN. NO DRAIN LINES SMALLER THAN 1". DRAINS SHALL BE P-TRAPPED AND INSULATED IF INSTALLED INSIDE. P-TRAPS SHALL BE AS DEEP AS THE TOTAL PRESSURE OF THE UNIT PLUS 1". REFER TO APPROPRIATE DETAILS ON THE PLANS.
14. PROVIDE PROTECTIVE ARMAFLEX COATING ON EXTERIOR INSULATED REFRIGERANT LINES.
15. PROVIDE APPROVED, NON-FLAMMABLE PIPE INSULATION ON ALL INSULATED PIPES AND PIPES OF PVC MATERIAL PASSING THRU AREAS OF BUILDING WITH RETURN AIR PLENUMS.
16. MECHANICAL CONTRACTOR SHALL COORDINATE ALL ELECTRICAL REQUIREMENTS WITH ELECTRICAL CONTRACTOR.
17. ALL ELECTRICAL WORK TO BE PROVIDED BY THE ELECTRICAL CONTRACTOR, UNLESS OTHERWISE NOTED.
18. ALL MECHANICAL EQUIPMENT SHALL BE LABELED WITH 1" HIGH BLACK BAKELITE LABEL SECURED TO THE EQUIPMENT WITH 5/8" HIGH WHITE LETTERS. LABEL SHALL CORRESPOND TO THE IDENTIFICATION ON THE PLANS.
19. THERMOSTATS TO BE MOUNTED 4'-0" ABOVE FINISHED FLOOR, MAX.
20. THERMOSTAT WIRING SHALL BE PERFORMED BY MECHANICAL CONTRACTOR. ALL TERMINATION'S SHALL BE PROPERLY FINISHED
21. INSTALLATION AND MAINTENANCE: SPACE REQUIREMENTS FOR MECHANICAL EQUIPMENT AND SYSTEMS HAVE BEEN DESIGNED PER BASIS-OF-DESIGN MANUFACTURER(S) SPECIFIED IN SCHEDULE. CONTRACTOR IS RESPONSIBLE FOR ANY MODIFICATIONS REQUIRED AS A RESULT OF USING PROPERLY SUBMITTED AND ACCEPTED "EQUAL" SUBSTITUTIONS AT NO ADDITIONAL COST.
22. COORDINATE WORK CLOSELY WITH CONTROL CONTRACTOR. PROVIDE ALL NECESSARY DUCT, PIPE, TAPS, TEES, WELLS, CONTROL DAMPERS, AIR MEASURING STATIONS, AND OTHER ACCESSORIES REQUIRED BY CONTROL SYSTEM.
23. WHERE CONFLICTS OCCUR BETWEEN PLANS AND SPECIFICATIONS, VERIFY WITH ARCHITECT/ENGINEER FOR CLARIFICATIONS.
24. ALL DRAWINGS ARE DIAGRAMMATIC AND INDICATE THE GENERAL ARRANGEMENTS OR GEOMETRIC RELATIONSHIPS OF EQUIPMENT AND SERVICES. THEY ARE NOT INTENDED TO SPECIFY OR SHOW EVERY OFFSET, FITTINGS, OR COMPONENT. CONTRACTOR SHALL NOT SCALE DRAWINGS. INFORMATION AND COMPONENTS SHOWN ON RISER DIAGRAMS OR DETAILS, BUT NOT SHOWN ON PLANS, VICE-VERSA, SHALL SUBMIT A REQUEST FOR INFORMATION (RFI) IF INFORMATION CONFLICTS. DRAWINGS SPECIFIC TO DISCIPLINE DO NOT LIMIT THE RESPONSIBILITY OF THE WORK REQUIRED BY CONTRACT DOCUMENTS. REFER TO ARCHITECTURAL, STRUCTURAL, ELECTRICAL AND OTHER DRAWINGS FOR COMPLETE INFORMATION.
25. BY NECESSITY, THESE DRAWINGS REFLECT A SYSTEM DESIGNED AROUND SPECIFIC REFERENCE PRODUCTS, THE SELECTION OF WHICH HAS IMPACTED THE DESIGNS OF OTHER TRADES (PLUMBING, ELECTRICAL, STRUCTURAL, ETC.) IF ALTERNATE MANUFACTURERS, FUEL SOURCES, SIZES, OR MODEL NUMBERS ARE SUBMITTED OR BID, IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS TO COORDINATE ALL DIFFERENCES PRIOR TO BID OR INSTALLATION, AT THE CONTRACTOR'S OPTION.
26. EXCEPT WHERE MODIFIED BY SPECIFIC NOTATION TO THE CONTRARY, IT SHALL BE UNDERSTOOD THAT THE INDICATION AND/OR DESCRIPTION OF ANY ITEM, IN THE DRAWINGS OR SPECIFICATIONS OR BOTH, CARRIES WITH IT THE INSTRUCTIONS TO FURNISH AND INSTALL THE ITEMS, REGARDLESS OF WHETHER OR NOT THIS INSTRUCTION IS EXPLICITLY STATED AS PART OF THE INDICATED OR DESCRIPTION.
27. THE CONTRACTOR SHALL VISIT SITE AND VERIFY CONDITIONS PRIOR TO BIDDING.
28. RECORD DRAWINGS: INDICATE ACTUAL ROUTING, FITTING DETAILS, REINFORCEMENT SUPPORT, AND INSTALLED ACCESSORIES AND DEVICES.
29. A DUCT MOUNTED PHOTOELECTRONIC TYPE SMOKE DETECTOR SHALL BE MOUNTED IN THE RETURN DUCT, BEFORE THE FIRST TAKEOFF. PROVIDE AN ACCESS DOOR AT EACH DETECTOR. UPON DETECTION OF SMOKE, THE DUCT DETECTOR SHALL SHUT DOWN ITS ASSOCIATED UNIT AND PROVIDE A SIGNAL TO THE FIRE ALARM SYSTEM. SMOKE DETECTORS TO BE FURNISHED AND WIRED BY THE ELECTRICAL CONTRACTOR AND MOUNTED BY THE MECHANICAL CONTRACTOR.
30. SLEEVE AND SEAL ALL PIPE AND DUCT PENETRATIONS THROUGH FIRE RATED AND NON-RATED SLABS AND PARTITIONS.
31. CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS INCLUDING, BUT NOT LIMITED TO:
   - PIPE SIZES AND ROUTING
   - DUCT SIZES AND ROUTING
   - EQUIPMENT CONNECTIONS AND LOCATIONS

   PROVIDE NECESSARY MODIFICATIONS TO NEW AND EXISTING SYSTEMS TO FACILITATE THE INSTALLATION OF NEW SYSTEMS AND INTERFACE OF EXISTING AND NEW SYSTEMS COMPLETE.
32. EXISTING SYSTEMS AND INFORMATION SHOWN ON THESE PLANS WERE DEVELOPED USING EXISTING BUILDING DRAWINGS. CONTRACTORS SHALL VERIFY AT SITE ALL EXISTING SYSTEMS. REMOVE ALL PORTIONS OF DUCT AND PIPING SYSTEMS BEING REMOVED OR ABANDONED. TERMINATE EXISTING SYSTEMS ABOVE CEILING AND BELOW FLOOR SLABS IN A MANNER THAT WILL NOT CONFLICT WITH NEW WORK. CLOSELY COORDINATE NEW WORK WITH EXISTING SYSTEMS. PROVIDE OFFSETS IN EXISTING AND NEW SYSTEMS AS REQUIRED TO AVOID CONFLICTS.
33. COORDINATE AND SCHEDULE ALL CONNECTIONS TO EXISTING SYSTEMS AND SYSTEM SHUT-DOWNS WITH MAINTENANCE PERSONNEL.
34. EXISTING EQUIPMENT BEING REMOVED AND DESIGNATED TO REMAIN THE PROPERTY OF THE OWNER SHALL BE DELIVERED UPON REMOVAL TO LOCATION DESIGNATED BY OWNER. ALL OTHER SYSTEM COMPONENTS REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
35. REMOVE AND RELOCATE SMALL CONDUIT, CABLE, PIPE AND DUCT, AND CEILING HANGERS ETC. AS NECESSARY TO ACHIEVE A COMPLETE INSTALLED MECHANICAL SYSTEM AS SHOWN ON DRAWINGS.
36. PATCH ALL WALLS, FLOORS, ROOFS, AND CEILINGS TO MATCH EXISTING OR NEW (IF APPLIED) FOR ALL OPENINGS CREATED BY DEMOLITION WORK OF EQUIPMENT AND HVAC SERVICE PENETRATIONS.
37. REPLACE AND/OR PATCH TO MATCH EXISTING, ANY EXISTING PIPE AND/OR DUCT INSULATION THAT IS TO REMAIN EXISTING AND IS DAMAGED OR REMOVED DURING CONSTRUCTION.

LEGEND

(NOTE: ALL SYMBOLS MAY NOT BE USED)

- 24"x24" CEILING SUPPLY DIFFUSER
- 24"x24" CEILING RETURN GRILLE
- 24"x24" CEILING EXHAUST DIFFUSER
- 12"x12" CEILING SUPPLY DIFFUSER
- 12"x12" CEILING RETURN GRILLE
- 12"x12" CEILING EXHAUST DIFFUSER
- SIDEWALL GRILLE
- SIDEWALL TRANSFER GRILLE
- DOOR TRANSFER GRILLE
- SLOT DIFFUSER
- ROUND DIFFUSER
- EXISTING DUCTWORK OR EQUIPMENT
- EXISTING DUCTWORK OR EQUIPMENT TO BE REMOVED
- RECTANGULAR DUCT W/TURNING VANES
- RECTANGULAR DUCT TO ROUND DUCT TRANSITION
- RECTANGULAR SUPPLY DUCT, ELBOW UP
- RECTANGULAR SUPPLY DUCT, ELBOW DOWN
- RECTANGULAR RETURN OR EXHAUST DUCT, ELBOW UP
- RECTANGULAR RETURN OR EXHAUST DUCT, ELBOW DOWN
- ROUND OR OVAL DUCT, ELBOW UP
- ROUND OR OVAL DUCT, ELBOW DOWN
- DN. DUCTWORK ROUTED DOWN AND UNDER
- UP DUCTWORK ROUTED UP AND OVER
- SPLITTER DAMPER W/TURNING VANES
- VOLUME DAMPER W/LOCKING QUADRANT
- OPPOSED BLADE DAMPER
- M MOTORIZED, OPPOSED BLADE DAMPER
- F FIRE DAMPER
- S SMOKE DAMPER
- SD DUCT MOUNTED SMOKE DETECTOR
- T THERMOSTAT MOUNTED 46" A.F.F.
- TS TEMPERATURE SENSOR MOUNTED 46" A.F.F.
- T REMOTE THERMOSTAT MOUNTED 46" A.F.F.
- $ WALL SWITCH MOUNTED 46" A.F.F.
- CONNECT TO EXISTING AT THIS POINT
- POINT OF DEMOLITION
- X KEY NOTE
- X DEMOLITION KEY NOTE
- X REVISION SYMBOL
- D-X / CFM DIFFUSER DESIGNATION = DIFFUSER ID PER SCHEDULE / DIFFUSER CFM

(D=SUPPLY, R=RETURN, E=EXHAUST, T=TRANSFER)

LICENSED PROFESSIONAL ENGINEER — Richard H. Godfrey II — 22809 — OKLAHOMA

09/25/2020

REVISIONS	BY	DATE

PLAN SCALE: VARIES
PRINTING DAY: 09/25/20
PROFILE SCALE HORIZONTAL: 1" =
VERTICAL: 1" =

DRAWN	RHG	
REVIEWED	RHG	
SURVEY		
PROJ. MNGR.	GS	10/20
LEAD ENG.	MAS	10/20
FIELD MNGR.	ZCM	10/20
RECOMMENDED:	HAS	10.20
DESIGN MANAGER		

FILE: 17451000 DRAWING:
ATLAS PAGE NO.

APPROVED:

CITY ENGINEER

DATE: 10.23.20
SHEET: 13 OF 17

M-001 | HVAC LEGEND AND GENERAL NOTES

Savage/Carl Smith Park Improvements

CITY OF TULSA, OKLAHOMA
ENGINEERING SERVICES DEPARTMENT

PLANS PREPARED BY: Crafton Tull
201 W. 5th Street #302, Tulsa, OK
t 918.584.0347
www.craftontull.com

CA 0939 - EXPIRES 6/30/21
2303 E Admiral Blvd. Tulsa, OK, 74114
T 918-623-5001
www.method.group

LEGEND

1. REFER TO SHEET M-001 FOR LEGEND.

GENERAL NOTES

1. REFER TO SHEET M-001 FOR GENERAL NOTES.

KEYED NOTES

(NOT ALL NOTES MAY BE USED ON THIS SHEET)

1. REPLACE EXISTING CONDENSING UNIT AND ASSOCIATED REFRIGERANT PIPING WITH NEW CONDENSING UNIT AND REFRIGERANT PIPING. INSULATE NEW LIQUID LINES.
2. REPLACE EXISTING AIR HANDLING UNIT WITH NEW AIR HANDLING UNIT. EXISTING DUCTWORK TO REMAIN. MODIFY DUCTWORK AS NECESSARY FOR NEW AIR HANDLING UNIT. REPLACE EXISTING CONDENSATE PIPING WITH NEW AND ROUTE TO SAME TERMINATION POINT AS ORIGINAL.
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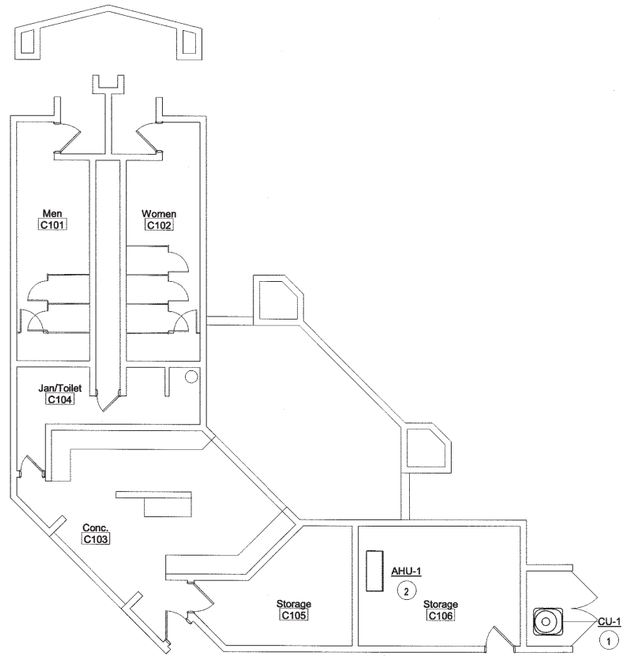
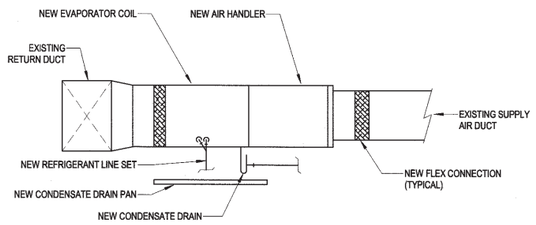
4. REPLACE EXISTING PTAC UNIT WITH NEW UNIT PER SCHEDULE.
5. NO WORK TO BE DONE.



1 HVAC PLAN CARL SMITH WEST

1/8" = 1'-0"



2 HORIZONTAL AIR HANDLING UNIT

N.T.S.

Richard H. Godfrey III 22869 OKLAHOMA REGISTERED PROFESSIONAL ENGINEER

09/25/2020

REVISIONS	BY	DATE

PLAN SCALE: VARIES
PRINTING DAY: 09/25/20
PROFILE SCALE
HORIZONTAL: 1" =
VERTICAL: 1" =

DRAWN	Author	
REVIEWED	Checker	
SURVEY		
PROJ. MNGR.	SP	10/20
LEAD ENG.	[illegible]	10/20
FIELD MNGR.	[illegible]	10/20
RECOMMENDED: DESIGN MANAGER	HAS 10.20	

FILE: 17451000 DRAWING:
ATLAS PAGE NO.

APPROVED:
CITY ENGINEER
DATE: 10.23.20
SHEET: 14 OF 17

M-101-1 HVAC PLAN - CARL SMITH

Savage/Carl Smith Park Improvements

CITY OF TULSA, OKLAHOMA
ENGINEERING SERVICES DEPARTMENT

PLANS PREPARED BY:
Crafton Tull
201 W. 5th Street #302, Tulsa, OK
t 918.584.0347
www.craftontull.com
CA 0939 - EXPIRES 6/30/21
METHOD ARCHITECTURE
2303 E Admiral Blvd. Tulsa, OK, 74114
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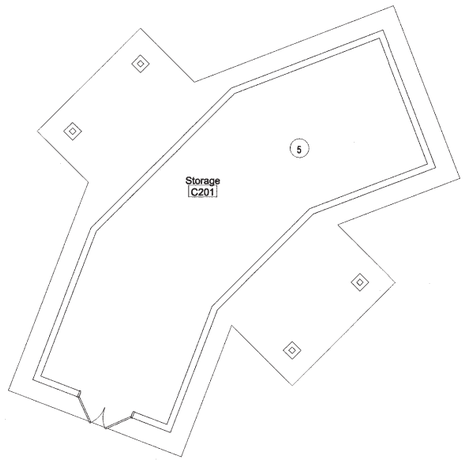
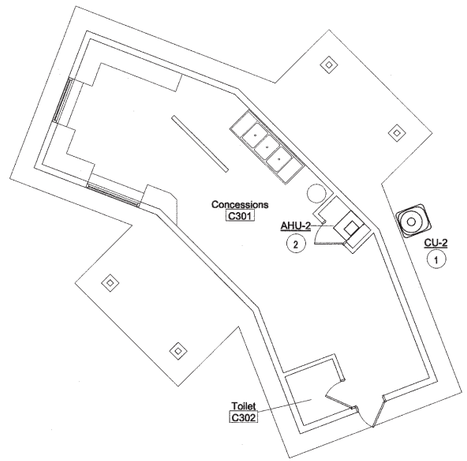
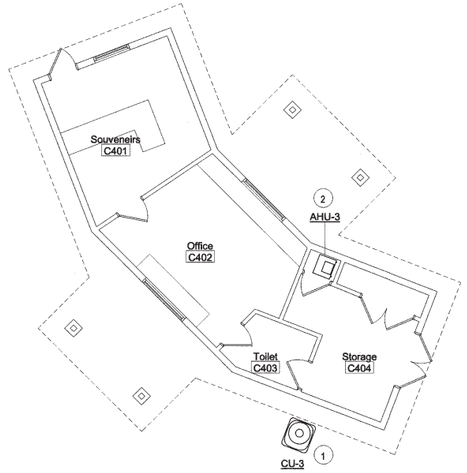
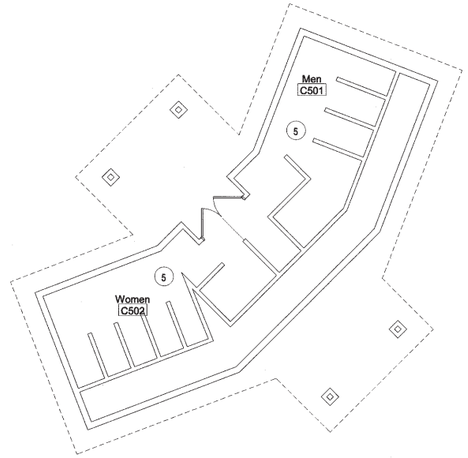


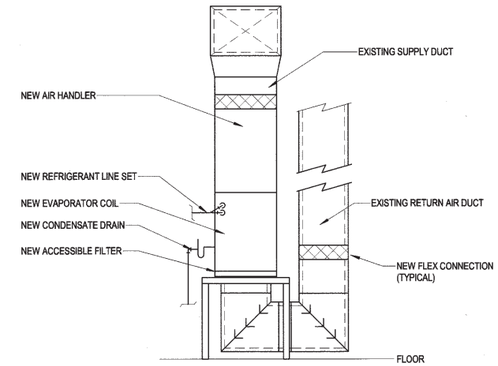






1 HVAC PLAN CARL SMITH EAST

1/8" = 1'-0"



2 AIR HANDLER CONNECTION DIAGRAM

N.T.S.

LEGEND

1. REFER TO SHEET M-001 FOR LEGEND.

GENERAL NOTES

1. REFER TO SHEET M-001 FOR GENERAL NOTES.

KEYED NOTES

(NOT ALL NOTES MAY BE USED ON THIS SHEET)

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4. REPLACE EXISTING PTAC UNIT WITH NEW UNIT PER SCHEDULE.
5. NO WORK TO BE DONE.

09/25/2020

REVISIONS	BY	DATE

M-101-2 HVAC PLAN - CARL SMITH

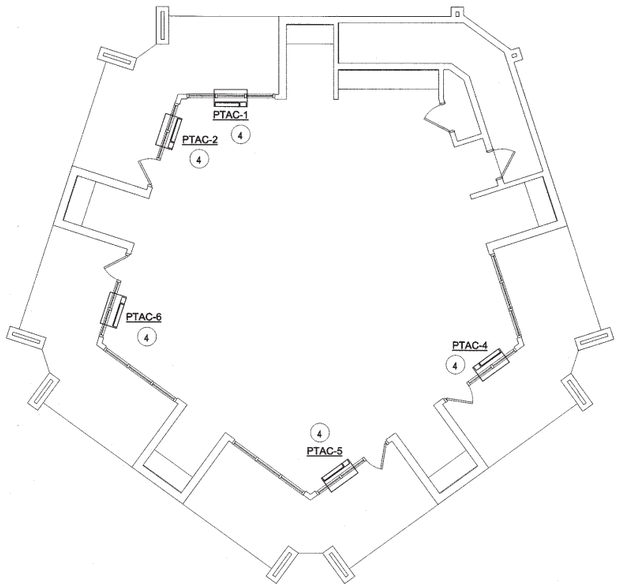
Savage/Carl Smith Park Improvements

CITY OF TULSA, OKLAHOMA
ENGINEERING SERVICES DEPARTMENT

PLANS PREPARED BY: Crafton Tull — 201 W. 5th Street #302, Tulsa, OK — T 918.584.0547 — www.craftontull.com — CA 02939 - EXPIRES 6/30/21

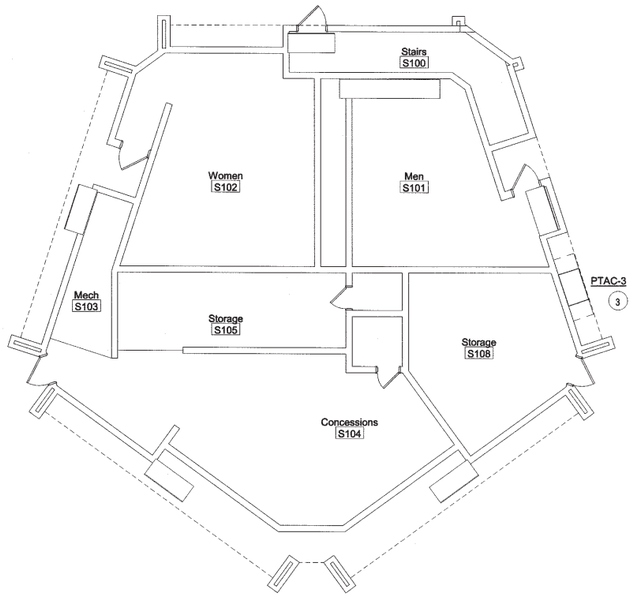
METHOD ARCHITECTURE — 2303 E Admiral Blvd. Tulsa, OK, 74114 — T 918-633-5001 — www.method.group

PLAN SCALE: VARIES	DRAWN	RHG	APPROVED:
PRINTING DAY: 09/25/20	REVIEWED	RHG	
PROFILE SCALE: HORIZONTAL: 1" =	SURVEY		
	PROJ. MNGR.	GFG 10/20	
	LEAD ENG.	10/20	
VERTICAL: 1" =	FIELD MNGR.	10/20	
	RECOMMENDED: DESIGN MANAGER	HAJ 10.20	CITY ENGINEER
FILE: 17451000	DRAWING:		DATE: 10.23.20
ATLAS PAGE NO.			SHEET: 15 OF 17



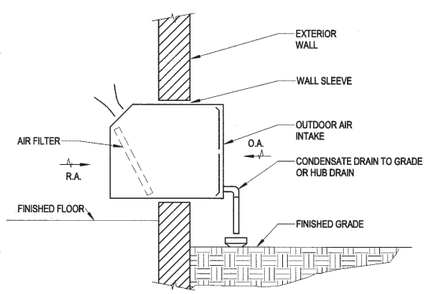
2 HVAC PLAN SAVAGE 2ND LEVEL

1/8" = 1'-0"



1 HVAC PLAN SAVAGE 1ST LEVEL

1/8" = 1'-0"



3 PTAC INSTALLATION

N.T.S.

LEGEND

1. REFER TO SHEET M-001 FOR LEGEND.

GENERAL NOTES

1. REFER TO SHEET M-001 FOR GENERAL NOTES.

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(NOT ALL NOTES MAY BE USED ON THIS SHEET)

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4. REPLACE EXISTING PTAC UNIT WITH NEW UNIT PER SCHEDULE.
5. NO WORK TO BE DONE.

REVISIONS	BY	DATE

PLAN SCALE: VARIES
PRINTING DAY: 09/25/20
PROFILE SCALE: HORIZONTAL: 1" =
VERTICAL: 1" =

DRAWN	RHG	
REVIEWED	RHG	
SURVEY		
PROJ. MNGR.	EAG	10/20
LEAD ENG.	MAH	10/20
FIELD MNGR.	ZAH	10/20
RECOMMENDED: DESIGN MANAGER	HBS	10-20

APPROVED: CITY ENGINEER

FILE: 17451000 DRAWING:

ATLAS PAGE NO.

DATE: 10.23.20

SHEET: 16 OF 17

M-101-3 HVAC PLAN - SAVAGE

Savage/Carl Smith Park Improvements

CITY OF TULSA, OKLAHOMA
ENGINEERING SERVICES DEPARTMENT

PLANS PREPARED BY: Crafton Tull
201 W. 5th Street #302, Tulsa, OK
t 918.584.0347
www.craftontull.com
CA 02939 - EXPIRES 6/30/21
METHOD ARCHITECTURE
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T 918-623-5001
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AIR HANDLER UNIT SCHEDULE

MARK	MANUFACTURER	MODEL	TYPE	CFM	OUTDOOR AIR CFM	ESP (IN. WC)	MOTOR HP	NOMINAL TONNAGE	NET COOLING CAPACITY TOTAL/SENSIBLE (MBH)	ENTERING AIR DB/WB	HEATING CAPACITY (MBH)	ELECTRIC HEATING		VOLTS	PHASE	MCA	MOCP	NOTES
												HEATING INPUT (KW)	MODEL					
AHU-1	TRANE	TEM4A0B36	VERTICAL	1,200	--	0.5	1/2	3.0	35.5/29.3	80.0/67.0	36.9	10.8	BAYHTR1517BRK	208	1	73	80	1, 2, 3, 4, 5
AHU-2	TRANE	TEM4A0C60	VERTICAL	2,000	--	0.5	1	5.0	48.0/33.5	80.0/67.0	49.2	14.4	BAYHTR1523BRK	208	1	94	100	1, 2, 3, 4, 5
AHU-3	TRANE	TEM4A0B36	VERTICAL	1,200	--	0.5	1/2	3.0	35.5/29.3	80.0/67.0	36.9	10.8	BAYHTR1517BRK	208	1	73	80	1, 2, 3, 4, 5

NOTES:
1. PROVIDE 2" PLEATED DISPOSABLE MERV 8 FILTER.
2. COORDINATE INSTALLATION WITH ELECTRICAL CONTRACTOR.
3. PROVIDE WITH MANUFACTURER'S STANDARD WALL MOUNTED THERMOSTAT.
4. PROVIDE WITH THERMOSTATIC EXPANSION VALVE.

CONDENSING UNITS

MARK	MANUFACTURER	MODEL	COOLING CAPACITY TOTAL/SENSIBLE (MBH)	NOMINAL TONNAGE	VOLTS	PHASE	SEER	MCA	MOCP	AMBIENT TEMP.	NOTES
CU-1	TRANE	4TTA3036	35.4/29.3	3	208	1	14.0	20	35	105	1, 2, 3, 4
CU-2	TRANE	4TTA3060	55.0/46.6	5	208	1	14.0	34	60	105	1, 2, 3, 4
CU-3	TRANE	4TTA3036	35.4/29.3	3	208	1	14.0	20	35	105	1, 2, 3, 4

NOTES:
1. INSTALL GROUND MOUNTED CONDENSING UNIT ON 4" CONCRETE PAD, COORDINATE WITH ARCHITECTURAL FOR LOCATION.
2. REFRIGERANT TO BE R-410A.
3. COORDINATE INSTALLATION WITH ELECTRICAL CONTRACTOR.
4. PROVIDE CONDENSING UNITS WITH HAIL GUARDS.

PACKAGED TERMINAL AIR CONDITIONING (PTAC) UNIT SCHEDULE

MARK	MANUFACTURER	MODEL	COOLING CAPACITY (MBH)		FAN CFM		OUTSIDE AIR	ELECTRIC HEATING		VOLTS	PHASE	MCA	MOCP	EER	NOTES
			TOTAL	SENSIBLE	HI	LOW		INPUT (KW)	MBH						
PTAC-1	AMANA	PTH123G35A	12.0	12.0	340	245	--	3.5	12.0	208	1	19.5	20	10.4	1, 2, 3, 4, 5
PTAC-2	AMANA	PTH123G35A	12.0	12.0	340	245	--	3.5	12.0	208	1	19.5	20	10.4	1, 2, 3, 4, 5
PTAC-3	BARD	W60AC-809	57.5	42.3	1750	--	--	9.0	30.7	208	3	34	40	11.0	5
PTAC-4	AMANA	PTH123G35A	12.0	12.0	340	245	--	3.5	12.0	208	1	19.5	20	10.4	1, 2, 3, 4, 5
PTAC-5	AMANA	PTH123G35A	12.0	12.0	340	245	--	3.5	12.0	208	1	19.5	20	10.4	1, 2, 3, 4, 5
PTAC-6	AMANA	PTH123G35A	12.0	12.0	340	245	--	3.5	12.0	208	1	19.5	20	10.4	1, 2, 3, 4, 5

NOTES:
1. PROVIDE WITH POWER CORD AND WALL SLEEVE.
2. COORDINATE INSTALLATION WITH ELECTRICAL CONTRACTOR.
3. PROVIDE WITH INTERNAL CONDENSATE REMOVAL.
4. PROVIDE WITH ARCHITECTURAL EXTERIOR LOUVER.
5. REFRIGERANT: R-410A

REVISIONS	BY	DATE

M-601 | HVAC SCHEDULES

Savage/Carl Smith Park Improvements

CITY OF TULSA, OKLAHOMA
ENGINEERING SERVICES DEPARTMENT

PLANS PREPARED BY: Crafton Tull, 201 W. 5th Street #302, Tulsa, OK, t 918.584.0347, www.craftontull.com; CA 02939 - EXPIRES 6/30/21
MET HOD, 2303 E Admiral Blvd. Tulsa, OK, 74114, T 918-623-5001, www.method.group

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PRINTING DAY: 09/25/20	REVIEWED	RHG	
PROFILE SCALE: HORIZONTAL: 1" = VERTICAL: 1" =	SURVEY		
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	LEAD ENG.	10/20	
	FIELD MNGR.	10/20	
	RECOMMENDED: DESIGN MANAGER	HAS 10.20	CITY ENGINEER
FILE: 17451000	DRAWING:		DATE: 10.23.20
ATLAS PAGE NO.			SHEET: 17 OF 17