



CITY OF  
**Tulsa**  
A New Kind of *Energy*.

## FAX TRANSMITTAL

Date: November 21, 2016

To: Plan Holders

Company: Contractors

Number of Pages: 10 (Including Cover)

From:

RE: Project No. **TMUA SP 14-15**  
**TMUA MISCELLANEOUS ROOF REPLACEMENT**

### ADDENDUM NO. 1

Please fax or email a signed cover sheet to 918 699-3158 or [pebrown@cityoftulsa.org](mailto:pebrown@cityoftulsa.org) as acknowledgement of receipt.

Thank you,

Priscilla Brown

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Company

\_\_\_\_\_  
Date

# TULSA METROPOLITAN UTILITY AUTHORITY

2317 SOUTH JACKSON

TULSA, OKLAHOMA 74107

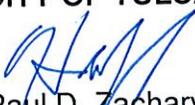
November 17, 2016

**ADDENDUM NO. 1  
TO  
PROJECT NO. TMUA SP 14-15  
TMUA MISCELLANEOUS ROOF REPLACEMENT  
OWRB LOAN NO. ORF-09-0001-CW & ORF-11-0003-CW**

This Addendum No. 1 consisting of seven (7) items and three (3) clarifications, submitted by SGA Design Group, is hereby made a part of the Contract Documents to the same extent as though it were originally included therein, and shall supersede anything contained in the Plans and Specifications with which it might conflict. **This Addendum shall be attached to the Index Sheet of the Contract Documents and submitted with bid. Failure to do so shall result in the bid being deemed non-responsive.**

All other provisions of the Plans and Specifications shall remain in full force and effect.

**CITY OF TULSA**

  
Paul D. Zachary, P.E.  
City Engineer

  
HAS/MAH/PEB/peb

## Addendum #001

November 14, 2016

Project: City of Tulsa  
TMUA Miscellaneous Roof Replacement  
Project No.: SP 14-15  
Account No.: 6032-5451101-040522112004  
6054-5451101-040522092019  
OWRB Loan No.: ORF-09-001-CW

From: SGA Design Group  
1437 South Boulder, Suite 550  
Tulsa, OK 74119

To: Prospective Bidders

This addendum forms a part of the Contract Documents and modifies the original Bidding Documents dated 05/20/16 as noted below. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification. This addendum consists of 2 pages plus attached drawing revisions.

### Clarifications

1. **NSWWTP Contact Information:** Shawn Glen (918) 591-4570
2. **Clarification** – Do not replace roof curbs or downspouts constructed from stainless steel or other corrosion resistant materials.
3. **Clarification** - Building 101B and 101C – Repair exterior grout joint prior to repaint. Rake joints where mortar has failed, tuckpoint masonry joints. Rout out vertical cracks less than 1/8", install sealant, touch up with block filler. Remove all existing control joint backer rod and sealant and replace. Clean walls thoroughly before painting.

### Specifications

**Section 012100 – Allowances Part 1 – General 1.3A** - Revise owner allowance to be Ten Thousand Dollars.

OWNER CONTINGENCY ALLOWANCES

- A. An Owner Contingency allowance of **Ten Thousand Dollars (\$10,000.00)** has been provided in the Contract for additional work not identified in the Contract and for use according to Owner's instructions.

### Drawings

1. **Cover Sheet**  
Add OWRB Loan Number
2. **Sheet A101A**  
Detail 1 – Roof Plan  
Clarify Existing curbs to remain  
Detail 2 – Roof Plan  
Deleted roof deck orientation detail
3. **Sheet A101B**  
Detail 2 – Roof Plan  
Clarify Existing vent curbs to remain  
Clarify additional curb extension need on high side exhaust vent

Clarify installation of tapered insulation required

Clarify to re-use of existing SS downspouts

Detail 4 – Through Wall Scupper and Downspout Detail

Updated detail

Detail 5 – Penetration Detail

Updated detail

Detail 6 – Equipment curb detail

Updated detail

Detail 8 – Parapet Flashing Detail

Update detail

Add lightning protection

Add parapet cap option

**4. Sheet A101C**

Detail 2 – Roof Plan

Clarify Existing vent curbs to remain

Clarify additional curb extension need on high side exhaust vent

Clarify installation of tapered insulation required

Clarify to re-use of existing SS downspouts

Detail 4 – Through Wall Scupper and Downspout Detail

Updated detail

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Updated detail

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Updated detail

Detail 8 – Parapet Flashing Detail

Update detail

Add lightning protection

Add parapet cap option

**5. Sheet A101D**

Detail 2 – Roof Plan

Deleted roof deck orientation detail

Detail 3 – Lightning Protection Detail

Added Detail

Detail 11 – Internal Roof Drain Section AT Primary Drain

Updated detail

**6. Sheet A101E**

Detail 3 – Roof Drain Detail

Updated detail



End of Addendum #001

# CONSTRUCTION PLANS FOR TMUA MISCELLANEOUS ROOF REPLACEMENT

INTERCEPTOR LIFT STATION - 8520 EAST MOHAWK BLVD - TULSA, OK  
 COAL CREEK FEB - 3131 NORTH ERIE AVE - TULSA, OK  
 FLAT ROCK FEB - 3104 EAST 56TH ST NORTH - TULSA, OK  
 MINGO FEB - 10468 EAST PINE ST- TULSA, OK  
 PORT SOUTH LIFT STATION - 1000 WEST FORT GIBSON ST - CATOOSA , OK

PROJECT NO. TMUA SP 14-15  
 ACCOUNT NOS.: 6032-5451101-040522112004  
 6054-5451101-040522092019

OWRB LOAN NO.: ORF-09-001-CW ADD #1

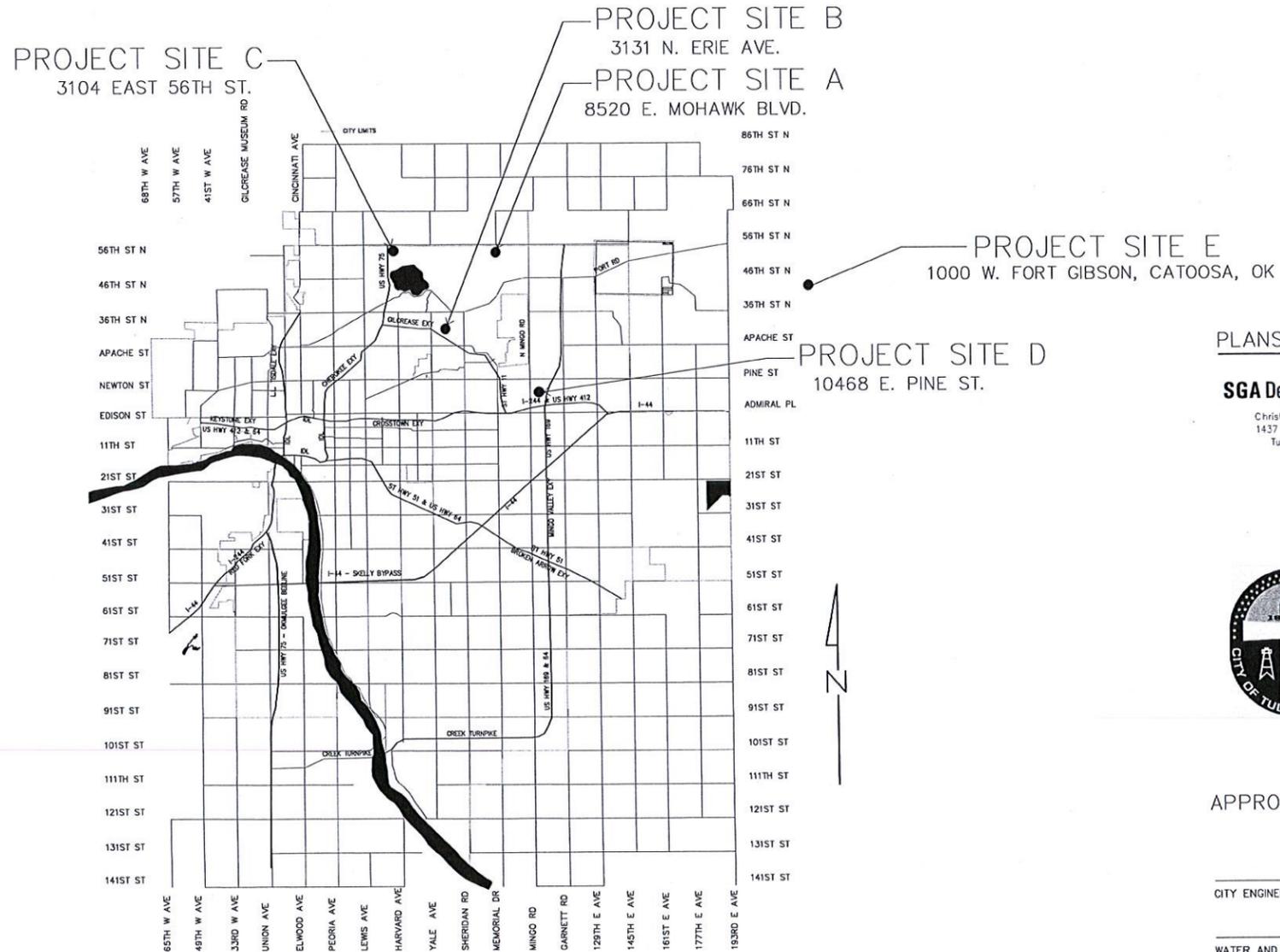
CITY OF TULSA  
 ENGINEERING SERVICES DEPARTMENT

### GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CURRENT CITY OF TULSA ORDINANCES, ENGINEERING SERVICES STANDARDS SPECIFICATIONS AND STANDARD DETAILS. (CITY OF TULSA ORDINANCE AND CODES AMENDMENTS SUPERCEDE NATIONAL CODES)
2. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ALL STRUCTURES, LANDSCAPING, PAVING AND ANY OTHER ITEMS LOCATED WITHIN AND OUTSIDE THE WORK AREA. ANY DAMAGE TO PERMANENT ITEMS INCURRED BY THE CONTRACTOR THROUGH HIS WORK IN THIS CONTRACT SHALL BE REPAIRED TO ORIGINAL CONDITION, BY THE CONTRACTOR AT HIS OWN EXPENSE.
3. CONTRACTORS WILL COORDINATE WITH IDENTIFIED MAINTENANCE OPERATIONS PERSONNEL FOR APPLICATION, SHUT OFF AND REMOVAL OF ALL UTILITIES.
4. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND QUANTITIES.

### DRAWING INDEX

SHEET NO	TITLE
G001A	COVER SHEET
A101A	SUMMARY OF PAY ITEMS ROOF PLANS INTERCEPTOR LIFT STATION 8520 EAST MOHAWK BLVD
A101B	ROOF PLANS & DET COAL CREEK FEB 3131 NORTH ERIE AVE
A101C	ROOF PLANS & DET FLAT ROCK FEB 3014 EAST 56TH ST NORTH
A101D	ROOF PLANS & DET MINGO FEB 10468 EAST PINE ST
A101E	ROOF PLANS & DET PORT SOUTH LIFT STATION 1000 WEST FORT GIBSON ST
A501A	ROOF DETAILS INTERCEPTOR LIFT STATION 8520 EAST MOHAWK BLVD



UTILITY COORDINATION BOX		
	NUMBER	NOTIFIED
ENGINEERING SERVICES		
WATER DESIGN	918-596-9566	
WASTEWATER DESIGN	918-596-9564	
TRANSPORTATION DESIGN	918-596-9636	
TRAFFIC ENGINEERING DESIGN	918-596-9749	
STORMWATER DESIGN	918-596-9498	
BUILDING MAINTENANCE AND OPERATIONS	918-596-9369	
OKLAHOMA NATURAL GAS CO.	918-831-8293	
COX COMMUNICATIONS	918-286-4666	
PUBLIC SERVICE CO. / KEP	918-599-2233	
AT&T	918-576-2142	



PLANS PREPARED BY:

**SGA Design Group, P.C.**

Christopher B. Goble, Architect  
 1437 South Boulder, Suite 550  
 Tulsa, Oklahoma 74119.3609  
 p: 918.587.8600  
 f: 918.587.8601  
 www.sgadesigngroup.com



DATE/STAMP/SIGNATURE



**CITY OF Tulsa**  
 A New Kind of Energy™

APPROVED BY

CITY ENGINEER

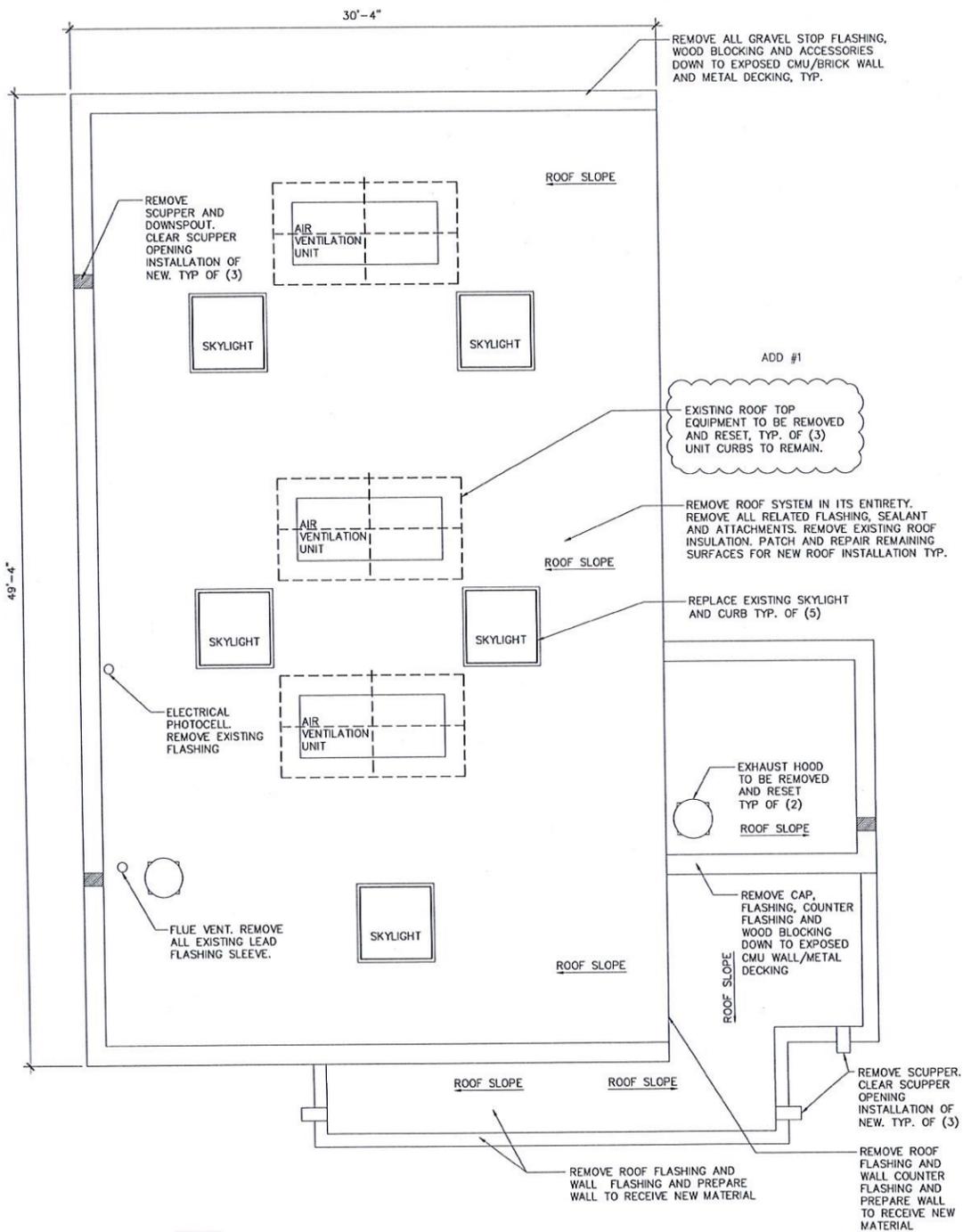
WATER AND SEWER DIRECTOR

DATE

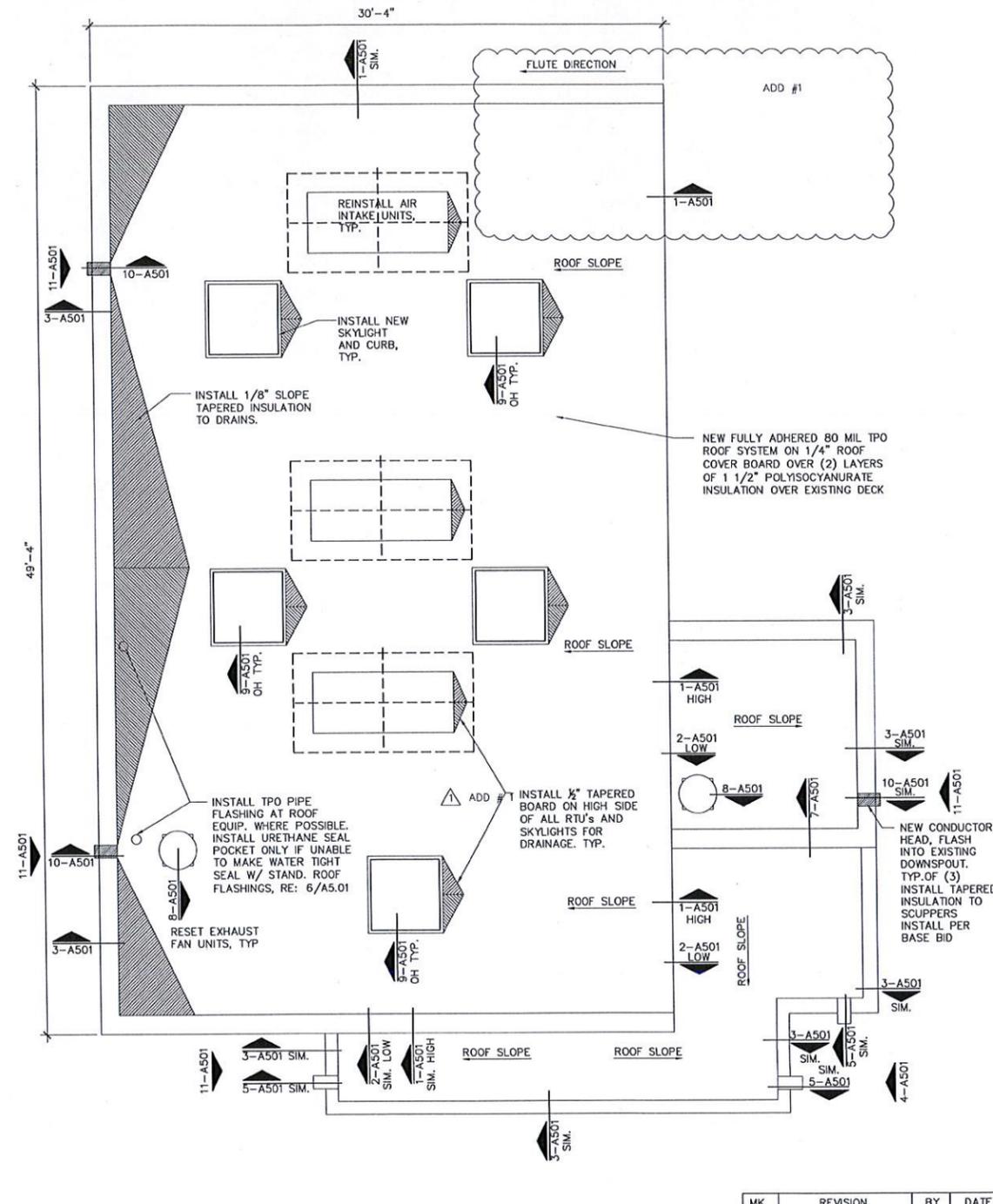
DATE

**GENERAL NOTES**

1. REMOVE EXISTING ROOF SYSTEM, INSULATION, WOOD BLOCKING AND FLASHINGS DOWN TO STRUCTURAL DECK.
2. REMOVE EXISTING ROOFTOP EQUIPMENT FOR CURB REPLACEMENT. SECURELY STORE UNITS TO BE RE-INSTALLED. COORDINATE CURB SIZE WITH EXISTING UNIT.
3. REMOVE ALL ABANDONED/NON-FUNCTIONAL EQUIPMENT FROM ROOF. UTILIZE QUALIFIED ELECTRICIAN TO TERMINATE ELECTRICAL IN NEW OR EXISTING JUNCTION BOX BELOW DECK. REMOVE ANY ABANDONED ELECTRICAL CONDUIT BACK TO NEAREST J-BOX OR PANEL.
4. REMOVE ALL SEALANTS, FLASHING, AND LOOSE OR DAMAGED CMU/MORTAR FROM PARAPET WALLS AND JOINTS.
5. COORDINATE RE-ROOFING OPERATIONS TO PREVENT WATER INFILTRATION INTO BUILDING DURING CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ANY WATER DAMAGES TO CONTENTS OF THE BUILDING DURING RE-ROOF OPERATIONS.
6. COORDINATE ANY MECHANICAL FASTENERS WITH ELECTRICAL CONDUIT THAT MAY BE INSTALLED. CONTRACTOR WILL BE RESPONSIBLE TO REPAIR ANY EXISTING ELECTRICAL DAMAGED DURING REROOFING OPERATIONS.
7. STAGGER JOINTS BETWEEN LAYERS OF 1 1/2" POLYISO INSULATION. NO JOINTS BETWEEN LAYERS SHOULD ALIGN.
8. INSTALL ALL TAPERED ROOF INSULATION TO PROVIDE 1/4" PER FOOT COUNTER SLOPE MINIMUM. INSTALL 1/2" TAPERED BOARD ON HIGH SIDE OF ALL RTU UNITS AND OTHER MECHANICAL EQUIPMENT TO PROVIDE POSITIVE WATER DRAINAGE AROUND UNIT.
9. PROVIDE UNIT PRICE TO REMOVE AND REPLACE AREA OF STRUCTURAL METAL DECK WITH OVERLAY OF 22 GA METAL DECK OR 22 GA FLAT METAL. REPLACEMENT AREAS TO BE DETERMINED UPON REMOVAL OF EXISTING ROOF SYSTEM.
10. PROVIDE UNIT PRICE TO REMOVE AREAS OF LOOSE OR FLAKING RUST AND TREAT AREAS WITH PENETRATING SEALER.



**1 ROOF DEMOLITION PLAN**  
1/4" = 1'-0"



**2 ROOF PLAN**  
1/4" = 1'-0"

MK	REVISION	BY	DATE	PLAN SCALE:	DRAWN	LRB	01/2014	APPROVED
1	ADD #1	doh	11/14/16	1" =	DESIGNED	doh	01/2014	
				1" =	SURVEY	N/A		
				1" =	PROJ. MGR.			
				1" =	LEAD ENGR.			
				1" =	FIELD MGR.			
				1" =	RECOMMENDED:			
				1" =	DESIGN MANAGER			CITY ENGINEER
				1" =	FILE:	DRAWING:		DATE:
				ATLAS PAGE NO:				SHEET 3 OF 8 SHEETS
				SHEET NAME: ROOF PLANS				SHEET NO.
				INTERCEPTOR LIFT STATION				<b>A101A</b>
				8520 EAST MOHAWK BLVD				

**TMUA MISCELLANEOUS ROOF REPLACEMENT**

PROJECT NO.: TMUA SP 14-15

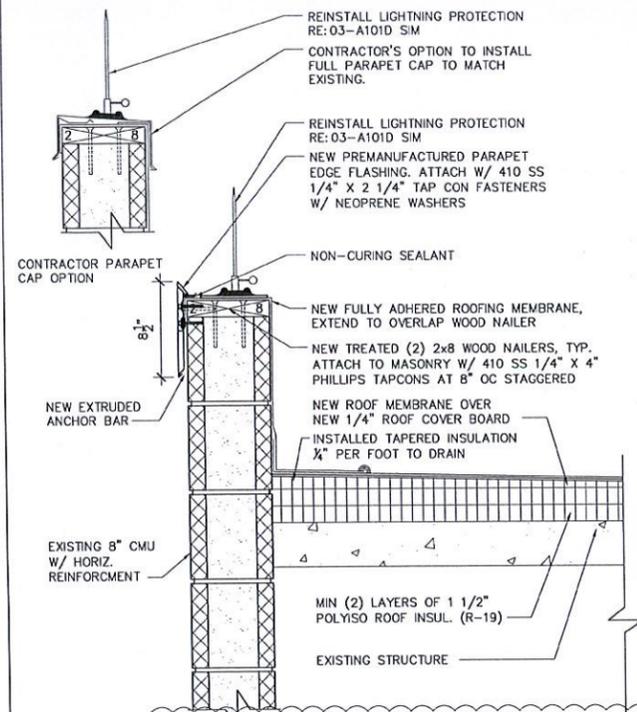
**CITY OF TULSA, OKLAHOMA**  
ENGINEERING SERVICES DEPARTMENT

**SGA Design Group, P.C.**

Christopher B. Goble, Architect  
1437 South Boulder, Suite 550  
Tulsa, Oklahoma 74109-9609  
P: 918.587.8600  
F: 918.587.8601  
www.sgadesigngroup.com

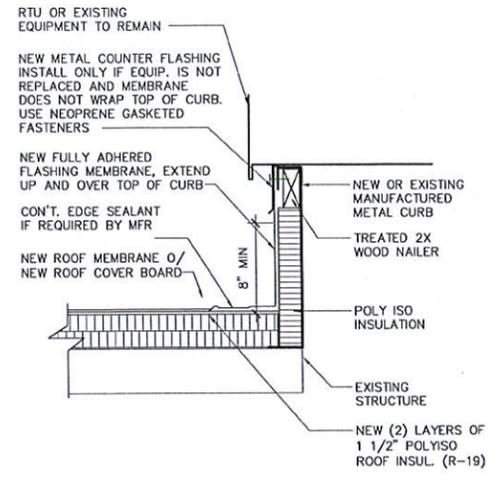
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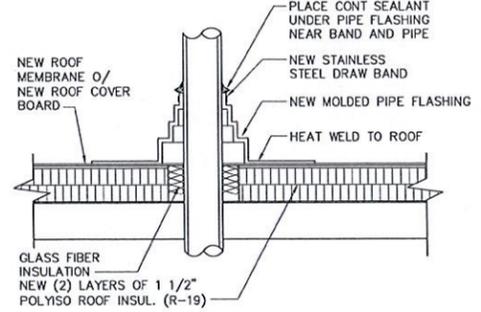
**8 PARAPET FLASHING DETAIL**  
 1 1/2" = 1'-0"

ADD # 1



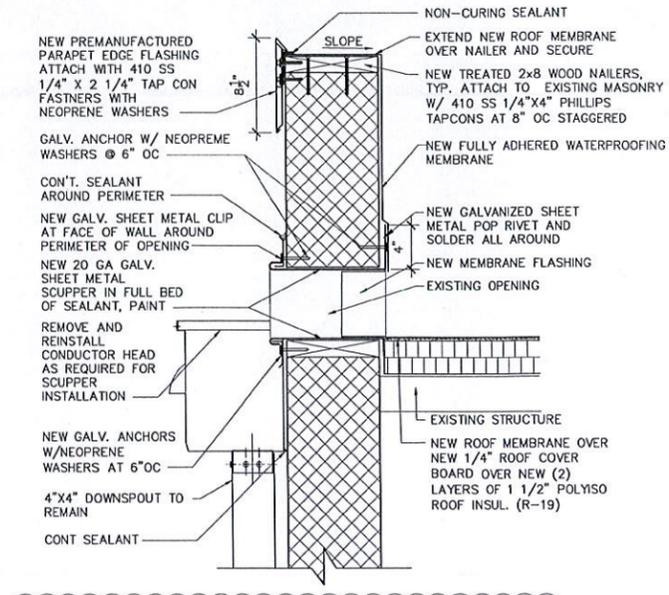
**6 EQUIPMENT CURB DETAIL**  
 1 1/2" = 1'-0"

ADD # 1



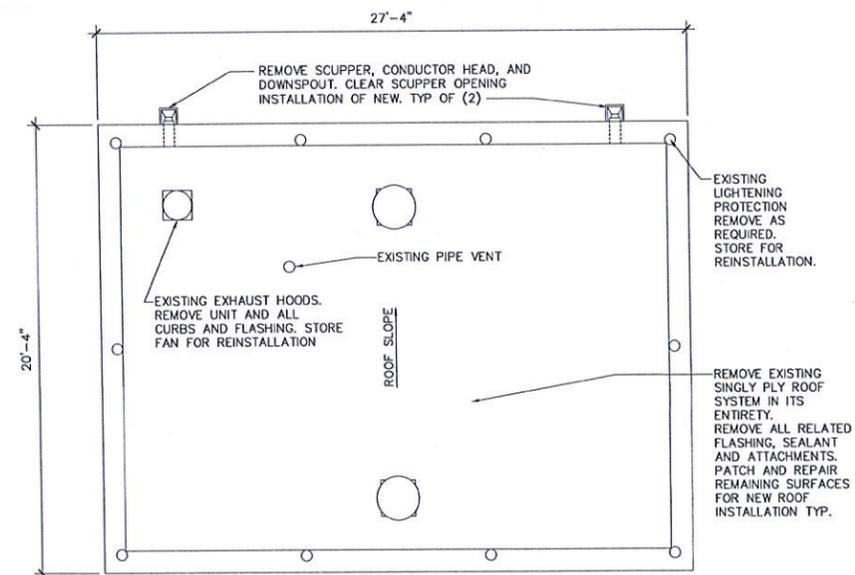
**5 PENETRATION**  
 1 1/2" = 1'-0"

ADD # 1

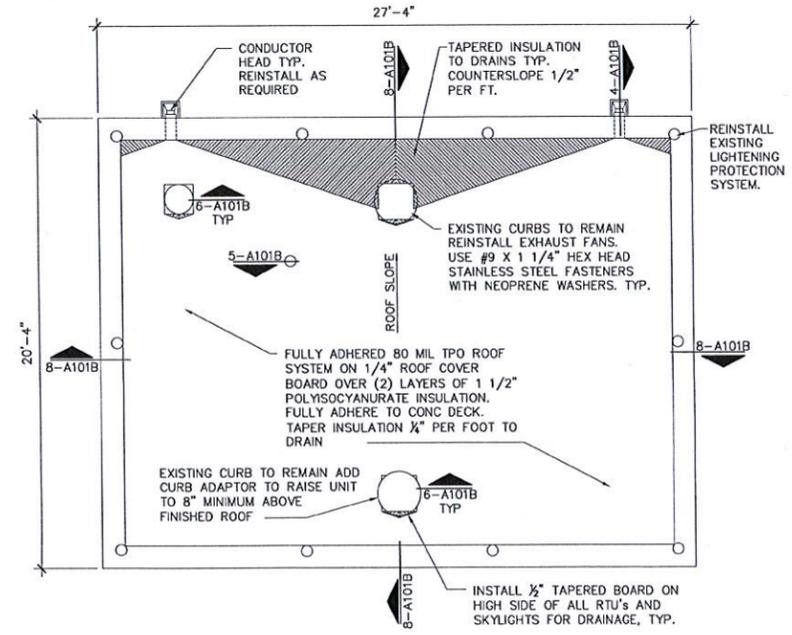


**4 THROUGH WALL SCUPPER AND DOWNSPOUT DETAIL**  
 1 1/2" = 1'-0"

ADD # 1



**1 ROOF DEMOLITION PLAN**  
 1/4" = 1'-0"



**2 ROOF PLAN**  
 1/4" = 1'-0"



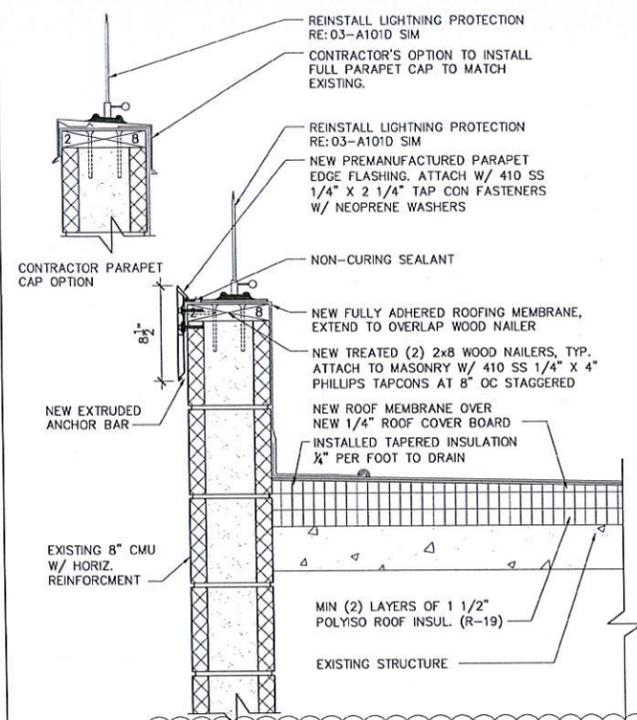
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**TMUA MISCELLANEOUS ROOF REPLACEMENT**  
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MK	REVISION	BY	DATE	PLAN SCALE:	DRAWN	LRB	01/2014	APPROVED
1	ADD #1	doh	11/14/16	1" = 1'	DESIGNED	doh	01/2014	
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				1" = 1'	DESIGN MANAGER			CITY ENGINEER
				FILE:	DRAWING:			DATE:
				ATLAS PAGE NO:				SHEET 4 OF 8 SHEETS
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				COAL CREEK FEB				<b>A101B</b>
				3131 NORTH ERIE AVE				

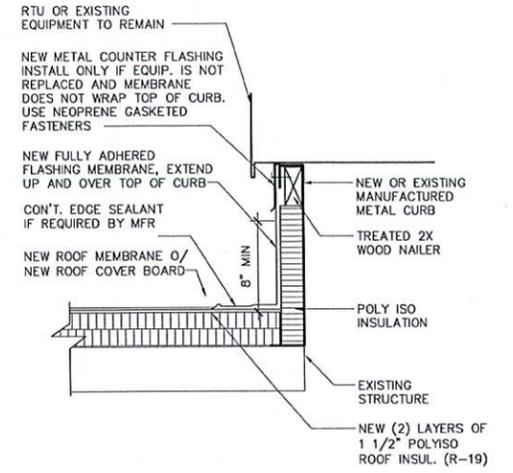
**GENERAL NOTES**

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2. REMOVE EXISTING ROOFTOP EQUIPMENT FOR CURB REPLACEMENT. SECURELY STORE UNITS TO BE RE-INSTALLED. COORDINATE CURB SIZE WITH EXISTING UNIT.
3. REMOVE ALL ABANDONED/NON-FUNCTIONAL EQUIPMENT FROM ROOF. UTILIZE QUALIFIED ELECTRICIAN TO TERMINATE ELECTRICAL IN NEW OR EXISTING JUNCTION BOX BELOW DECK. REMOVE ANY ABANDONED ELECTRICAL CONDUIT BACK TO NEAREST J-BOX OR PANEL.
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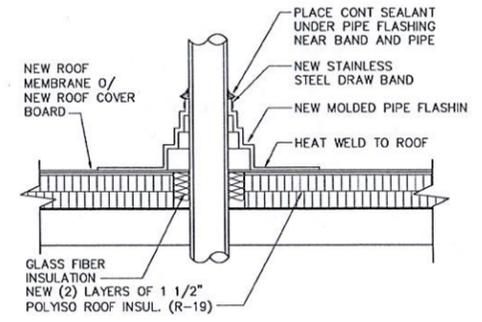
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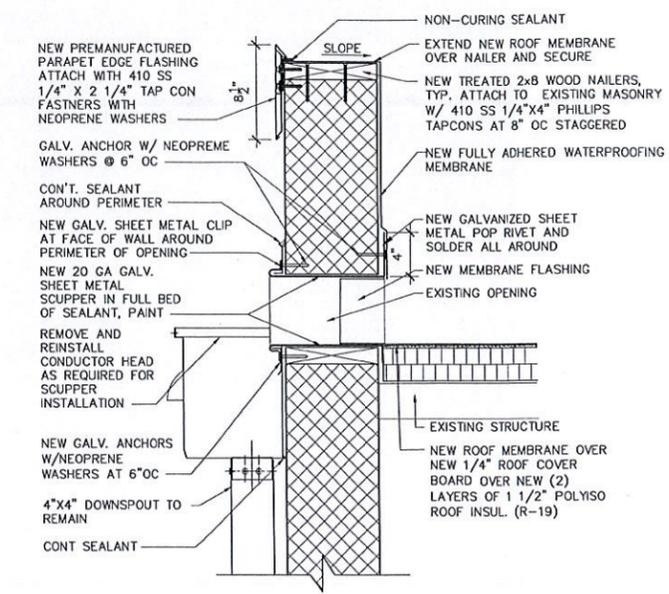
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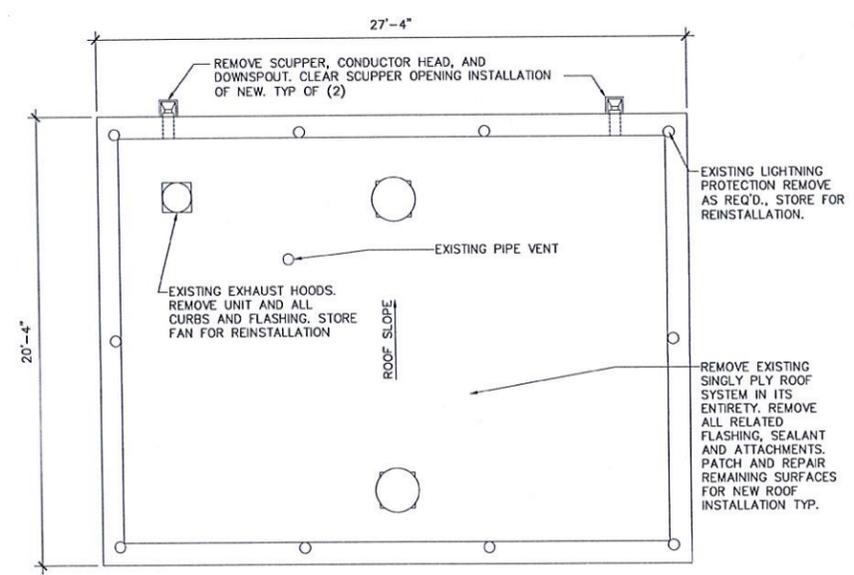
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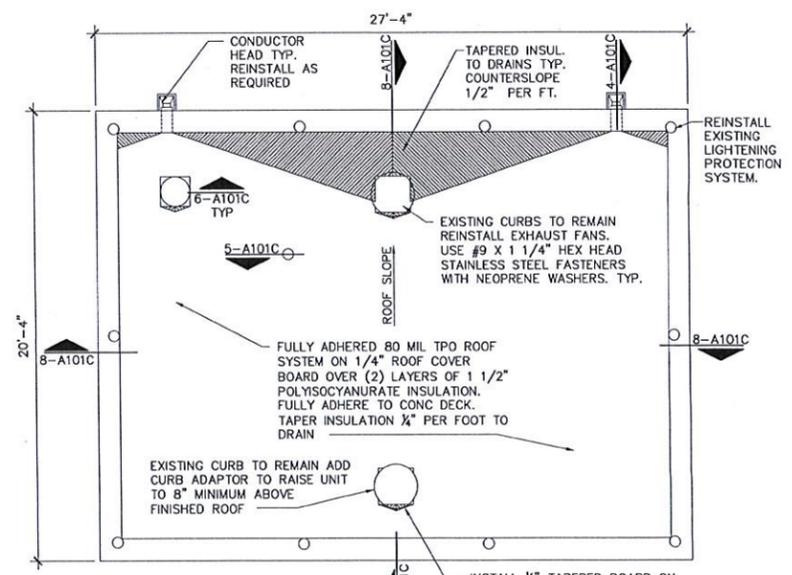


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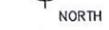
ADD # 1



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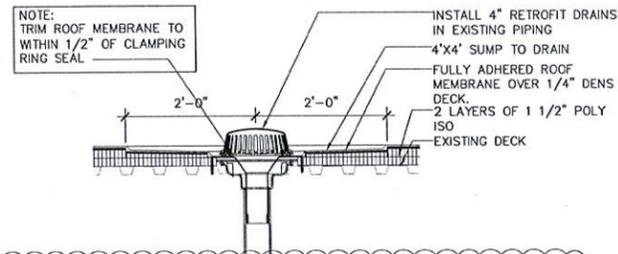
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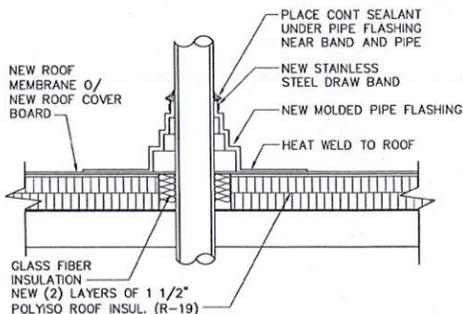
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					SURVEY	N/A		
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					HORIZONTAL:			
					VERTICAL:			
					RECOMMENDED:			
					DESIGN MANAGER			CITY ENGINEER
					FILE:	DRAWING:		DATE:
					ATLAS PAGE NO:			SHEET 5 OF 8 SHEETS
					SHEET NAME: ROOF PLANS & DET			SHEET NO.
					FLAT ROCK FEB			<b>A101C</b>
					3014 EAST 56TH ST NORTH			

GENERAL NOTES

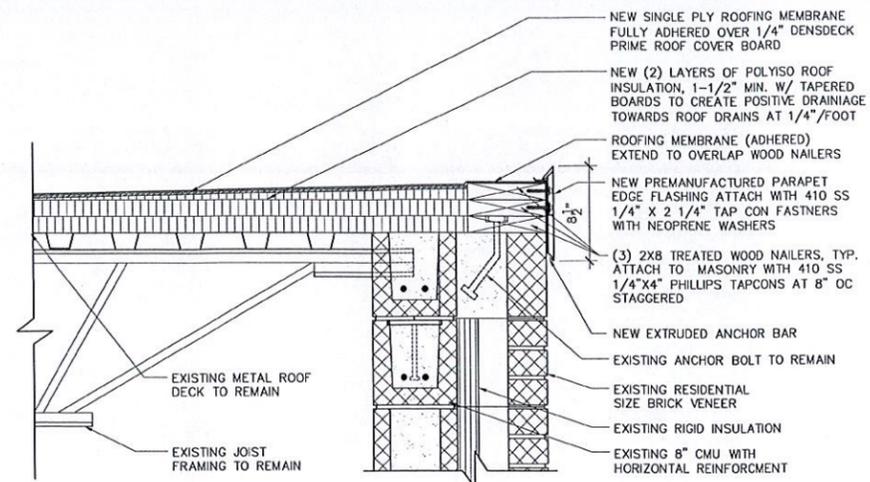
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9. PROVIDE UNIT PRICE TO REMOVE AND REPLACE AREA OF STRUCTURAL METAL DECK WITH OVERLAY OF 22 GA METAL DECK OR 22 GA FLAT METAL. REPLACEMENT AREAS TO BE DETERMINED UPON REMOVAL OF EXISTING ROOF SYSTEM.
10. PROVIDE UNIT PRICE TO REMOVE AREAS OF LOOSE OR FLAKING RUST AND TREAT AREAS WITH PENETRATING SEALER.



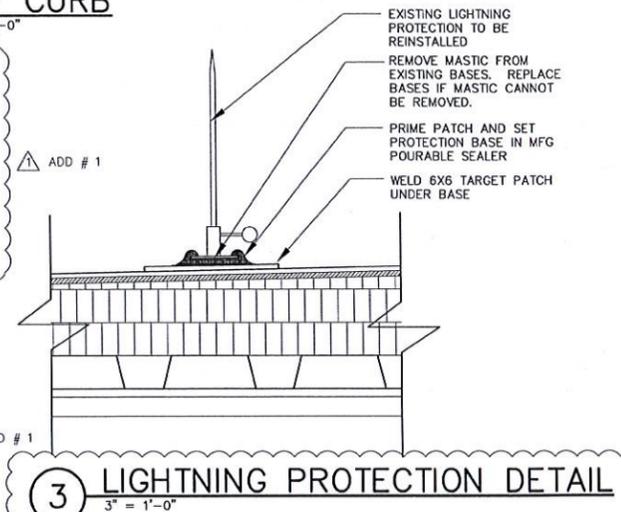
11 INTERNAL ROOF DRAIN SECTION AT PRIMARY DRAIN  
3/4" = 1'-0"



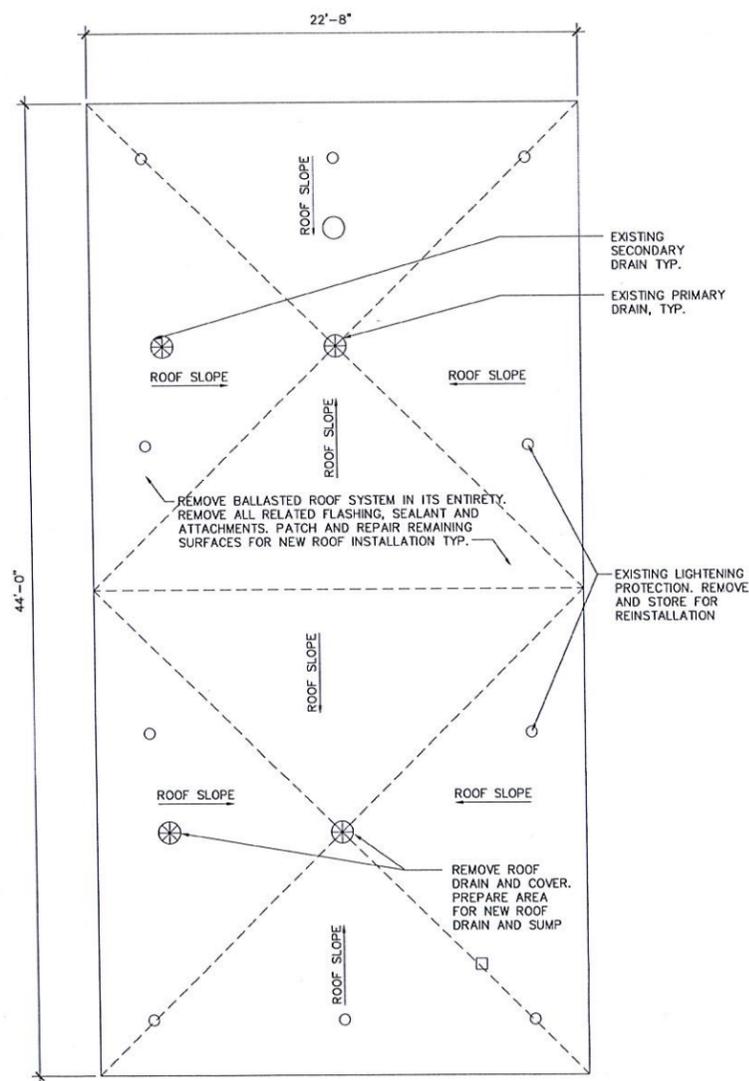
5 PENETRATION  
1 1/2" = 1'-0"



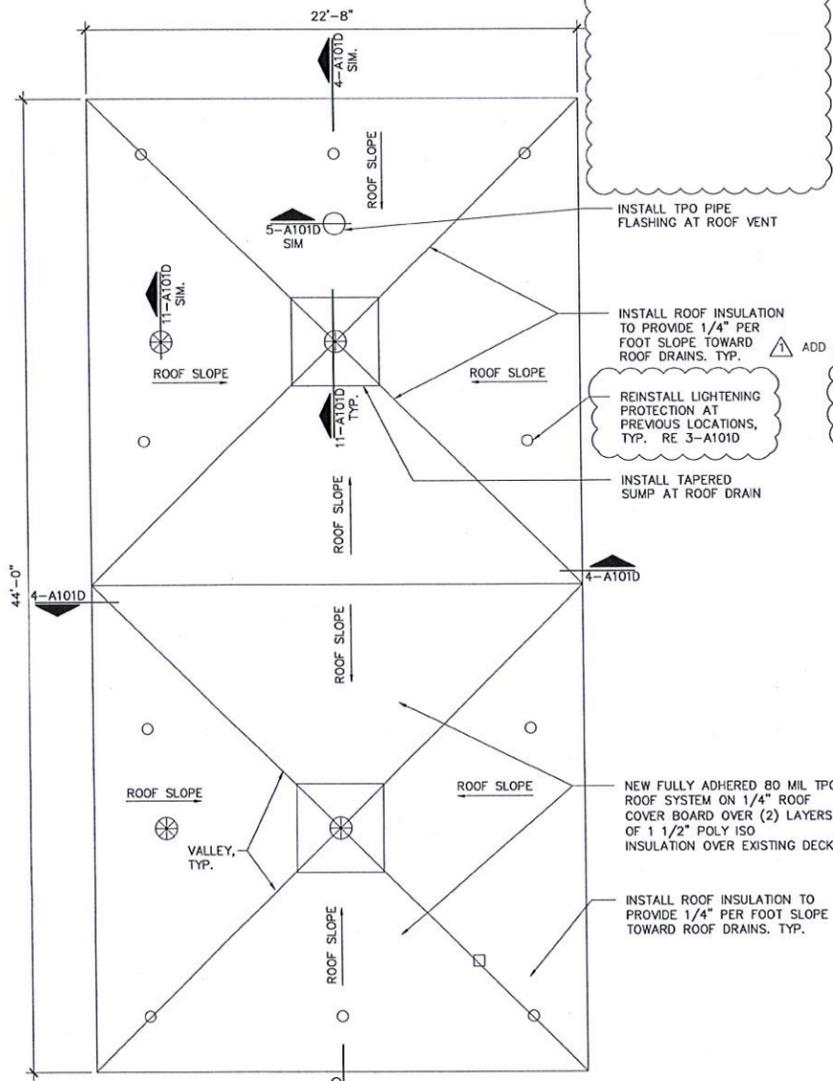
4 ROOF CURB  
1 1/2" = 1'-0"



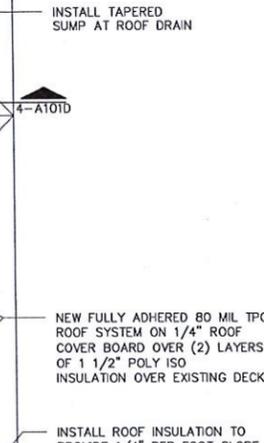
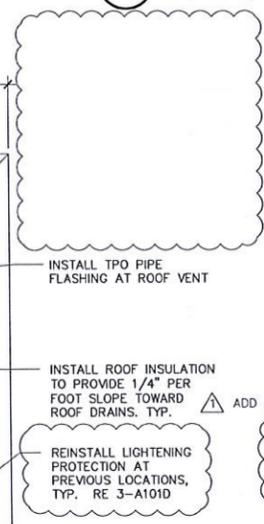
3 LIGHTNING PROTECTION DETAIL  
3" = 1'-0"



1 ROOF DEMOLITION PLAN  
1/4" = 1'-0"



2 ROOF PLAN  
1/4" = 1'-0"

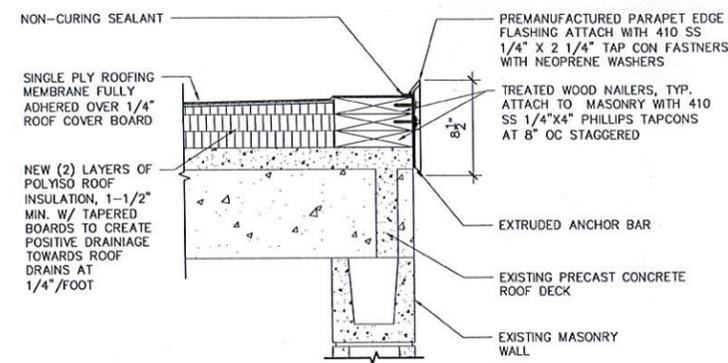


MK	REVISION	BY	DATE	PLAN SCALE:	DRAWN	LRB	01/2014	APPROVED
1	ADD #1	dah	11/14/16	1" =	DESIGNED	dah	01/2014	
					SURVEY	N/A		
					PROJ. MGR.			
					LEAD ENGR.			
					FIELD MGR.			
					RECOMMENDED:			
					DESIGN MANAGER			CITY ENGINEER
					FILE:	DRAWING:		DATE:
					ATLAS PAGE NO:			SHEET 6 OF 8 SHEETS
					SHEET NAME: ROOF PLANS & DET			SHEET NO.
					MINGO FEB			A101D
					10468 EAST PINE ST			

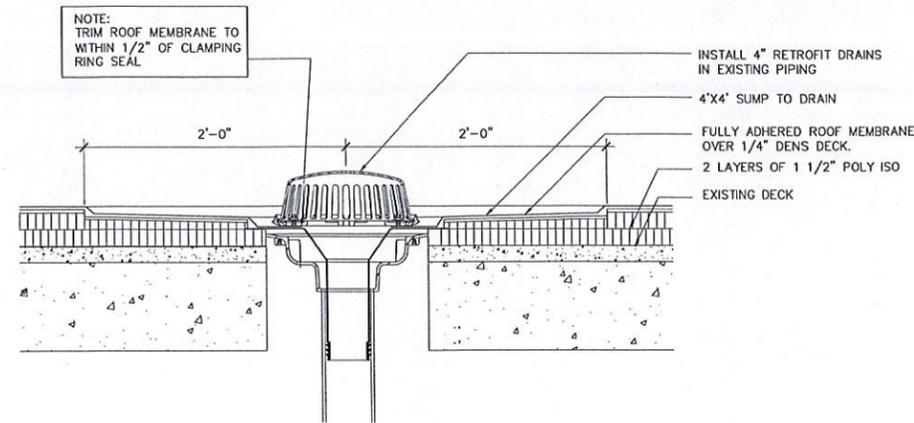
**TMUA MISCELLANEOUS ROOF REPLACEMENT**  
 PROJECT NO.: TMUA SP 14-15  
**CITY OF TULSA, OKLAHOMA**  
 ENGINEERING SERVICES DEPARTMENT  
**SGA Design Group, P.C.**  
 1437 South Boulder, Suite 1300  
 Tulsa, Oklahoma 74119-3609  
 P: 918.587.8600  
 F: 918.587.8601  
 www.sgadesigngroup.com

**GENERAL NOTES**

1. REMOVE EXISTING ROOF SYSTEM, INSULATION, WOOD BLOCKING AND FLASHINGS DOWN TO STRUCTURAL DECK.
2. REMOVE EXISTING ROOFTOP EQUIPMENT FOR CURB REPLACEMENT. SECURELY STORE UNITS TO BE RE-INSTALLED. COORDINATE CURB SIZE WITH EXISTING UNIT.
3. REMOVE ALL ABANDONED/NON-FUNCTIONAL EQUIPMENT FROM ROOF. UTILIZE QUALIFIED ELECTRICIAN TO TERMINATE ELECTRICAL IN NEW OR EXISTING JUNCTION BOX BELOW DECK. REMOVE ANY ABANDONED ELECTRICAL CONDUIT BACK TO NEAREST J-BOX OR PANEL.
4. REMOVE ALL SEALANTS, FLASHING, AND LOOSE OR DAMAGED CMU/MORTAR FROM PARAPET WALLS AND JOINTS.
5. COORDINATE RE-ROOFING OPERATIONS TO PREVENT WATER INFILTRATION INTO BUILDING DURING CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ANY WATER DAMAGES TO CONTENTS OF THE BUILDING DURING RE-ROOF OPERATIONS.
6. COORDINATE ANY MECHANICAL FASTENERS WITH ELECTRICAL CONDUIT THAT MAY BE INSTALLED. CONTRACTOR WILL BE RESPONSIBLE TO REPAIR ANY EXISTING ELECTRICAL DAMAGED DURING REROOFING OPERATIONS.
7. STAGGER JOINTS BETWEEN LAYERS OF 1 1/2" POLYISO INSULATION. NO JOINTS BETWEEN LAYERS SHOULD ALIGN.
8. INSTALL ALL TAPERED ROOF INSULATION TO PROVIDE 1/4" PER FOOT COUNTER SLOPE MINIMUM. INSTALL 1/2" TAPERED BOARD ON HIGH SIDE OF ALL RTU UNITS AND OTHER MECHANICAL EQUIPMENT TO PROVIDE POSITIVE WATER DRAINAGE AROUND UNIT.

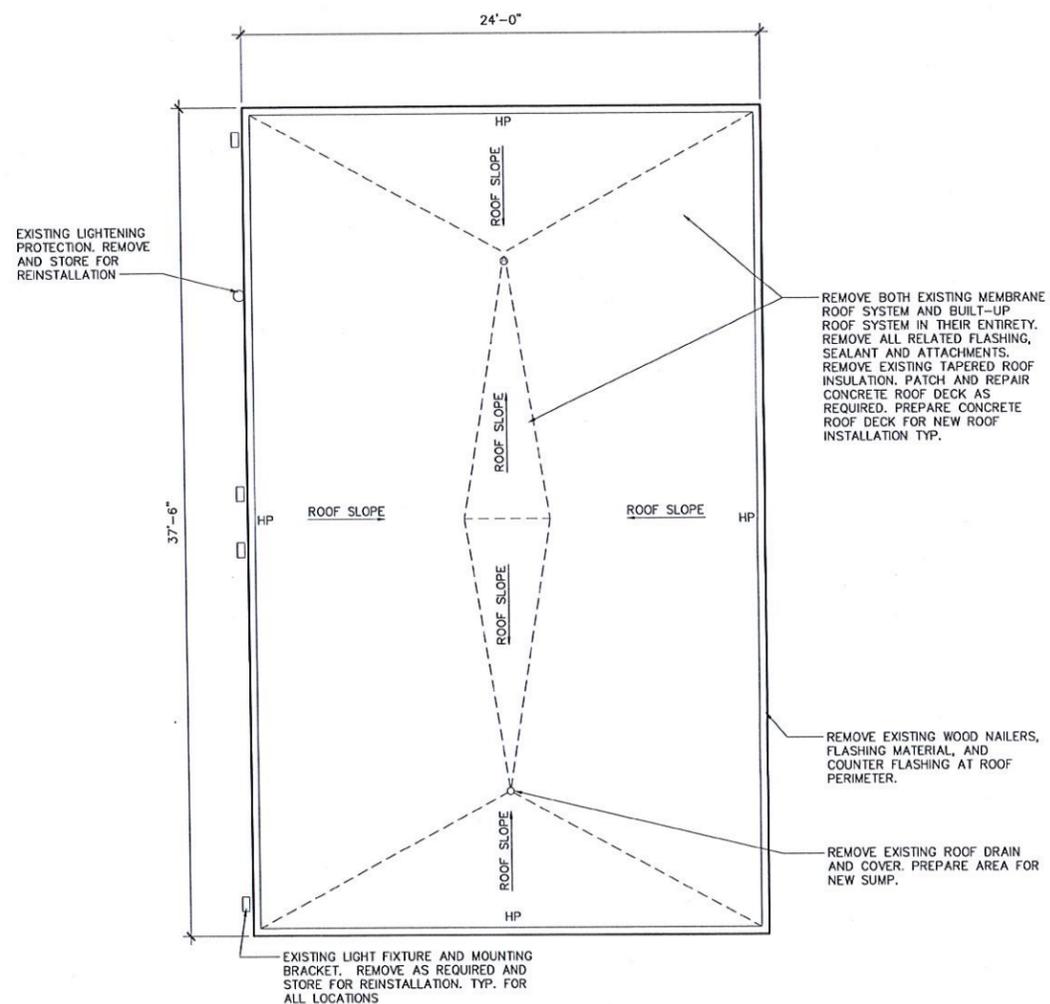


**4 ROOF EDGE DETAIL**  
1 1/2" = 1'-0"

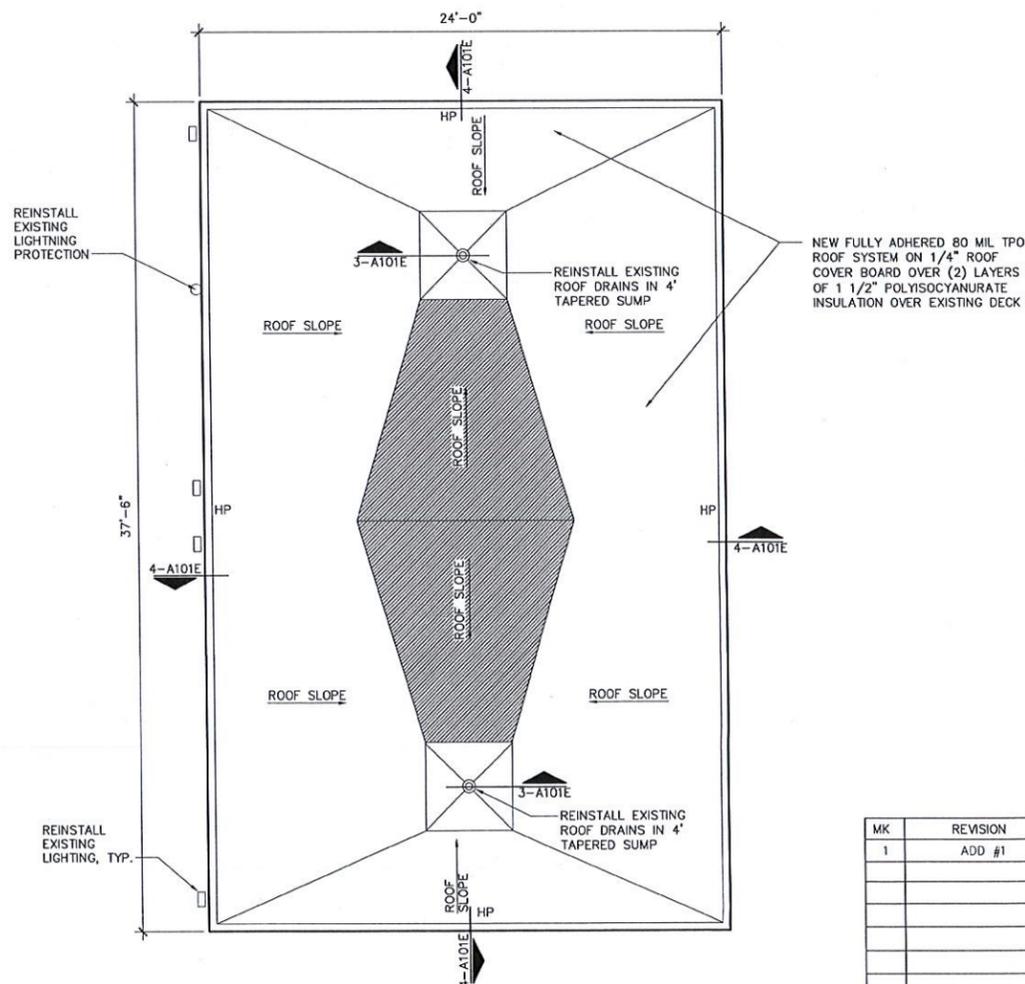


**3 ROOF DRAIN DETAIL**  
1 1/2" = 1'-0"

ADD #1



**1 ROOF DEMOLITION PLAN**  
1/4" = 1'-0"



**2 ROOF PLAN**  
1/4" = 1'-0"

**TMUA MISCELLANEOUS ROOF REPLACEMENT**  
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MK	REVISION	BY	DATE	PLAN SCALE:	DRAWN	LRB	01/2014	APPROVED
1	ADD #1	dah	11/14/16	1" =	DESIGNED	dah	01/2014	
					SURVEY	N/A		
				PROFILE SCALE:	PROJ. MGR.			
				1" =	LEAD ENGR.			
				HORIZONTAL:	FIELD MGR.			
				1" =	RECOMMENDED:			
				VERTICAL:	DESIGN MANAGER			
				1" =				
				FILE:	DRAWING:			
				ATLAS PAGE NO:				
				SHEET NAME: ROOF PLANS & DET				
				1000 WEST FORT GIBSON ST				

CITY ENGINEER  
DATE:  
SHEET 7 OF 8 SHEETS  
SHEET NO.  
**A101E**